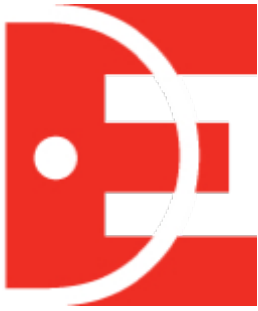


DesignEvanston
Awards 2024



DesignEvanston

2024 Awards

Description:

840 Michigan is a 24-unit infill complex consisting of 16 townhomes, with a hybrid structure of brick bearing walls, precast concrete floors, and exposed steel. Located on a prominent urban site in Evanston, 840 Michigan is equidistant from Main Street transportation to the west and Lake Michigan to the east.

840 Michigan is designed with a landscaped courtyard at the center of the development separating the units and services at the entryway. A bridge fabricated in aluminum gratings allows sunlight to penetrate during the day and channel-glass stair enclosures act as lanterns illuminating the space at night.

Project Name:

840 Michigan Category:
Architecture

Multi Family Residential
Address:

840 Michigan Ave.

Owner:

Condominium Owners

Architect:

David Hovey Sr., FAIA

Developer:

Optima, Inc.

Contractor:

Optima, Inc.

Completion Date:

1985



Caption: 840 Michigan Entry Courtyard



Caption: 840 Michigan Views from Terrace



Caption: 840 Michigan Entrance



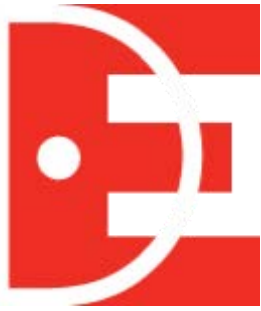
Caption: 840 Michigan Courtyard Looking West (left); Courtyard Looking East (right)



Caption: 840 Michigan Courtyard Looking Northeast (left); Courtyard Entrance (right)



Caption: 840 Michigan Level 3 Bridge & Steel Stair Clad with Channel Glass



DesignEvanston

2024 Awards

Description:

The 167,000-square-foot corporate headquarters, designed as an L-shaped building, wraps around its triangular site with a dramatic entrance at the corner. This design was planned to accommodate a future 150,000-square-foot expansion to achieve symmetry. The building's 90-foot width ensures that all employees are within 45 feet of a window, enhancing natural light. The street-facing arcade rises to double height at the corner to emphasize the entrance. The exaggerated scale is a preparation for the double-height lobby within reflecting the vision of transparency and openness. The upper floors' curved facade blending of glass and granite, connect modern aesthetics with traditional elements, inspired by the surrounding architecture.

Project Name:

**Shand Morahan Corporate
Headquarters**

Category:

Commercial/Retail

Address:

1007 Church St. Evanston, IL

Owner:

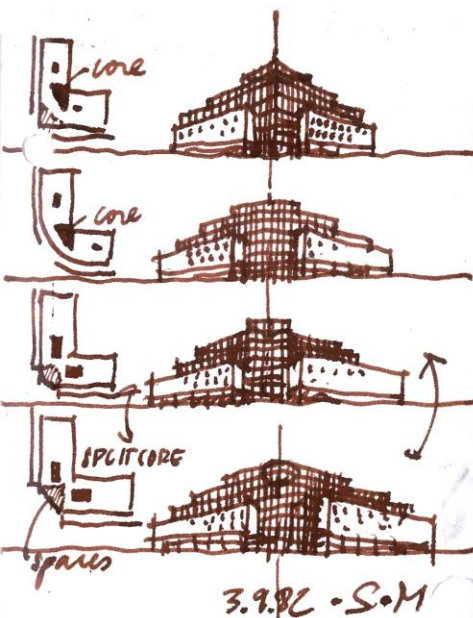
Not Available

Architect:

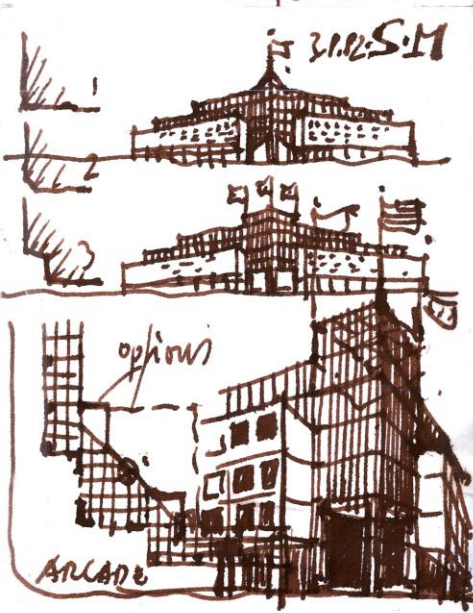
Murphy/Jahn (Jahn/)

Completion Date:

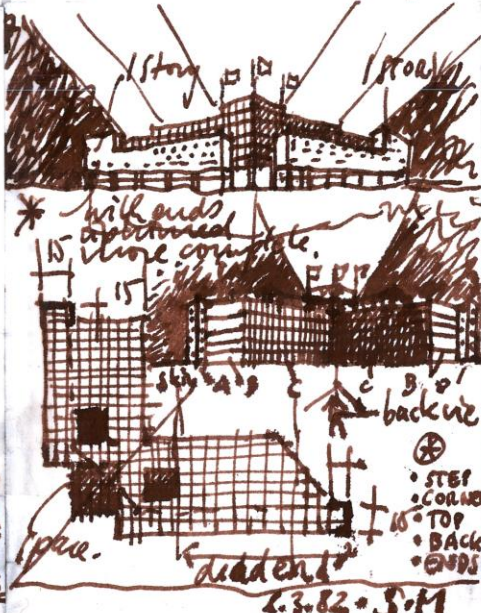
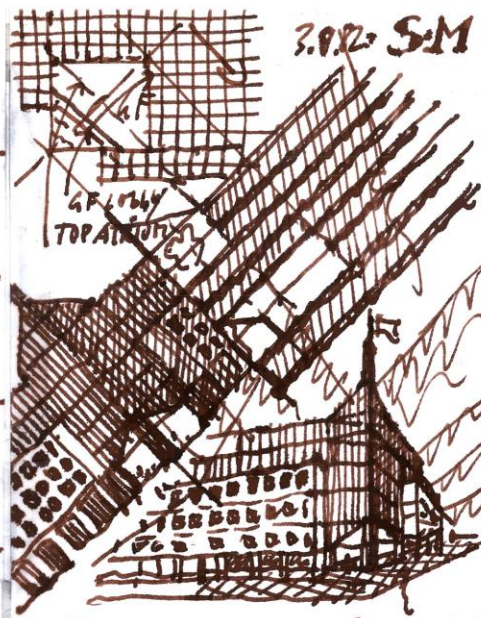
1984



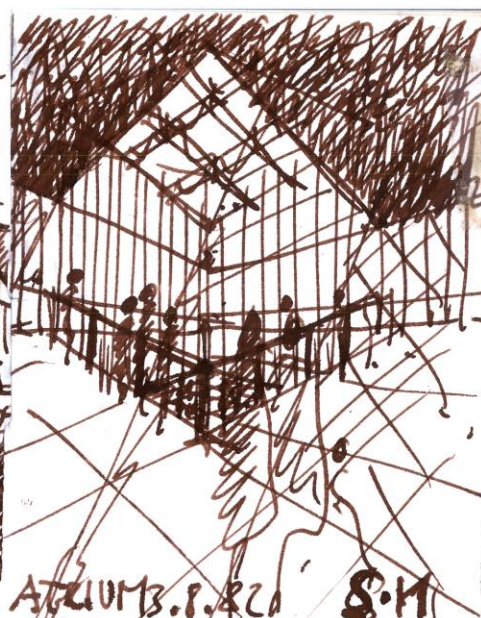
3.9.82 - S.M

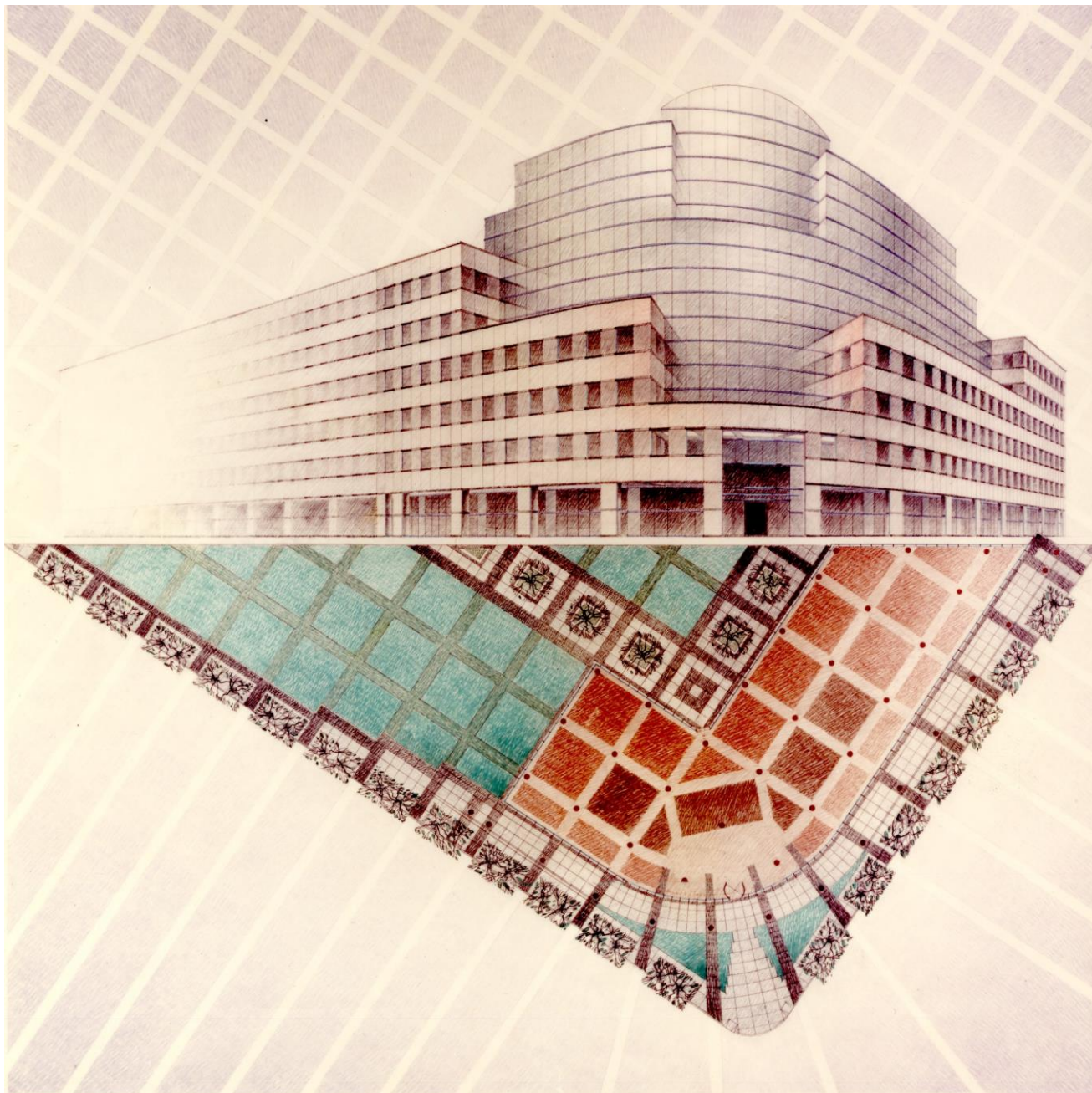


3.10.82 S.M



3.3.82 - S.M

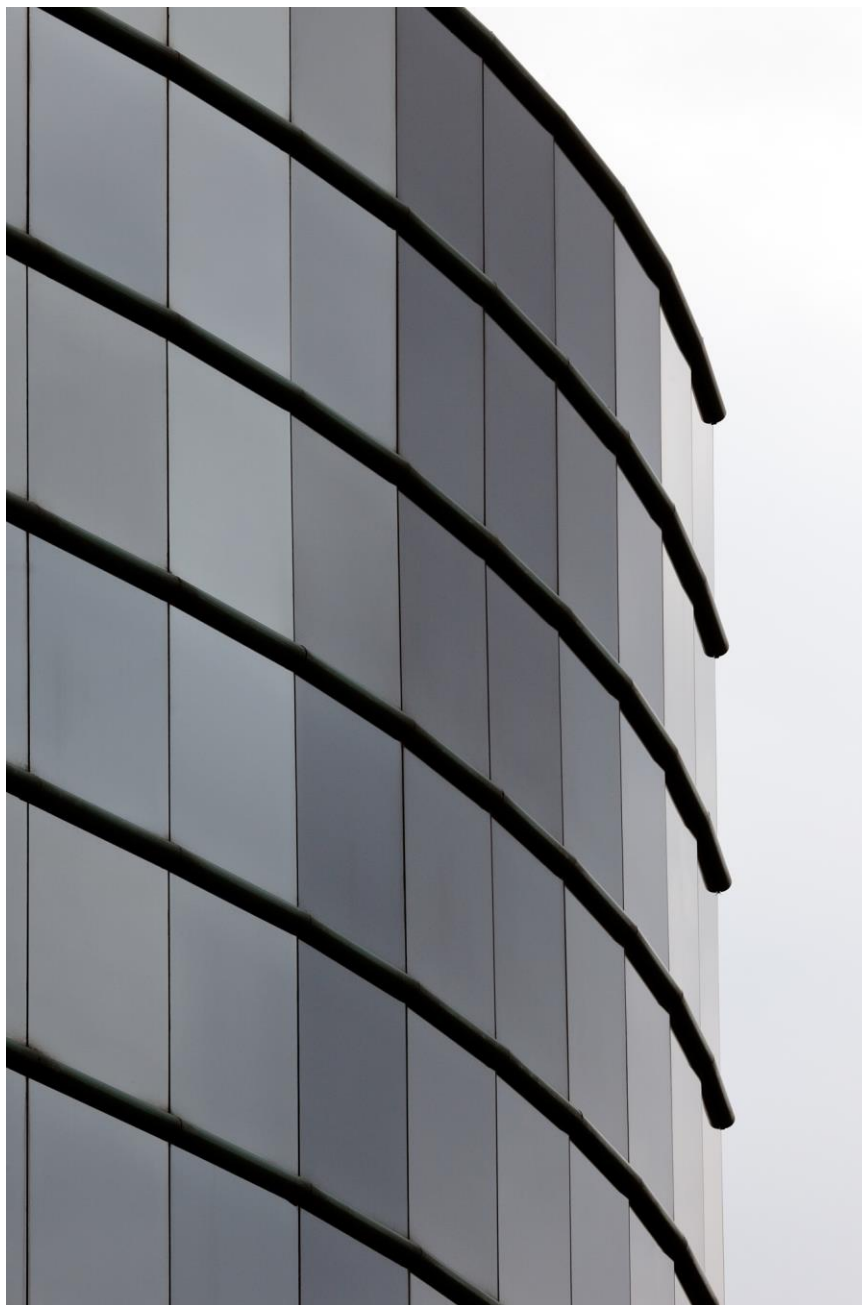




Project rendering



Church Street from west



Façade detail



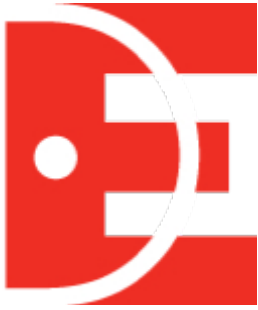
Entrance at Church & Oak Streets



Garden view



Façade at entrance



DesignEvanston 2024 Awards

Description: According to Ann Rainey, alderperson of the 8th Ward, the site of our project at 100 Chicago, was “the most derelict site in Evanston”. Furthermore, as a Chicagoan living in Lakeview, Chicago Avenue was the route I had taken to Evanston for my entire adult life. The site at the intersection of Howard and Chicago Avenue was both a challenge, and an opportunity. To the east, a CTA train parking lot, to the west the elevated Metra embankment. The site; narrow, deep, and with no back, was exposed and visible from all directions. Howard Street, while experiencing renewed interest and development in recent years was still a work in progress. Most developers would have passed on this site. Our client, David Brown, president of Harrington Brown LLC, is motivated by the desire to make a positive impact on communities; economically, urbanistically, and architecturally.. The result is a 27 unit apartment building with ground-floor retail and surface parking. Five of the units are affordable.

Project Name:

Evanston Gateway

Category:

Architecture: Mixed Use

Address:

100 Chicago Avenue

Owner:

Harrington Brown/LG

Architect:

Level Architecture Inc.

Developer: (If any)

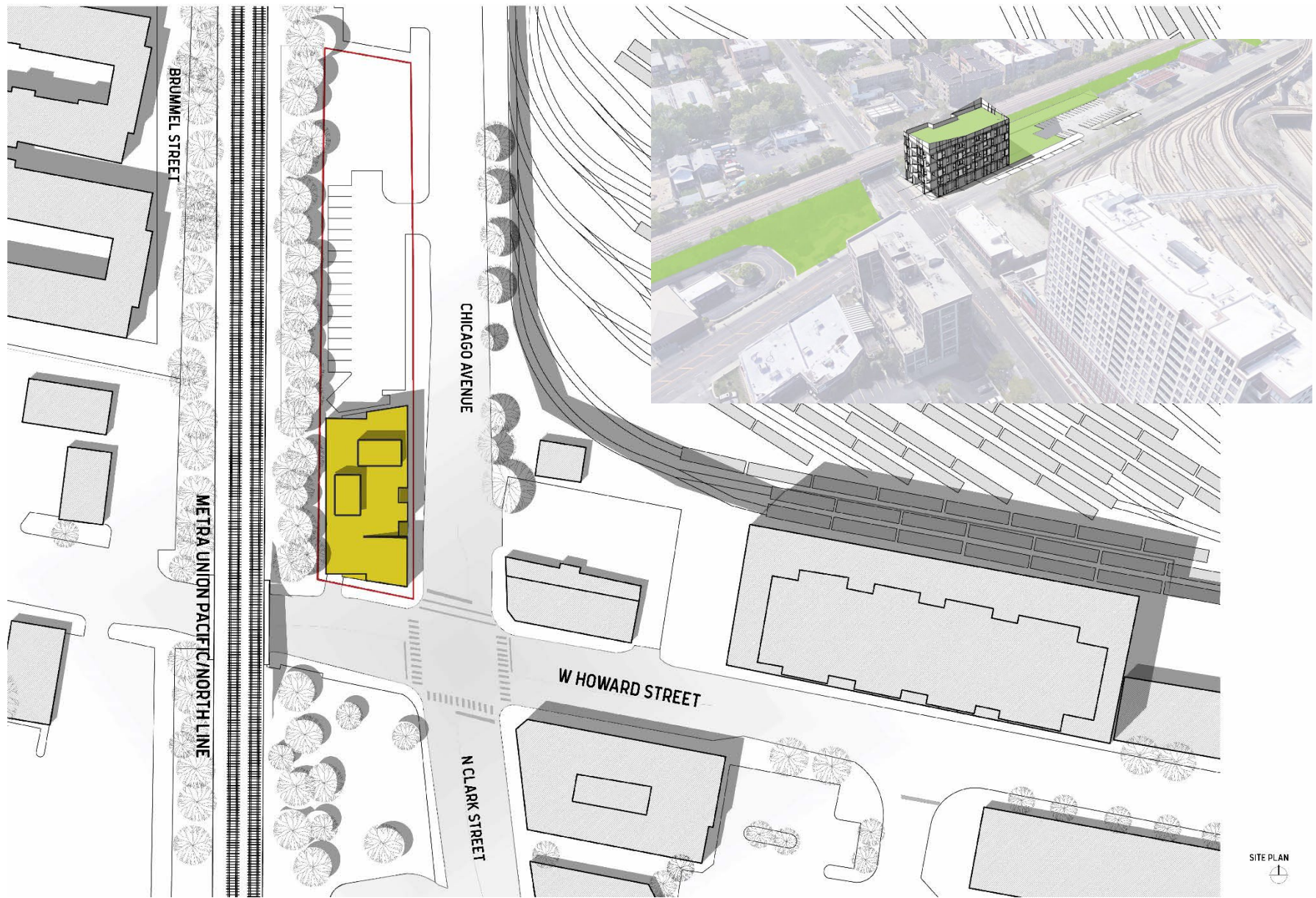
Harrington Brown LLC

Contractor:

LG Construction

Completion Date:

June, 2023



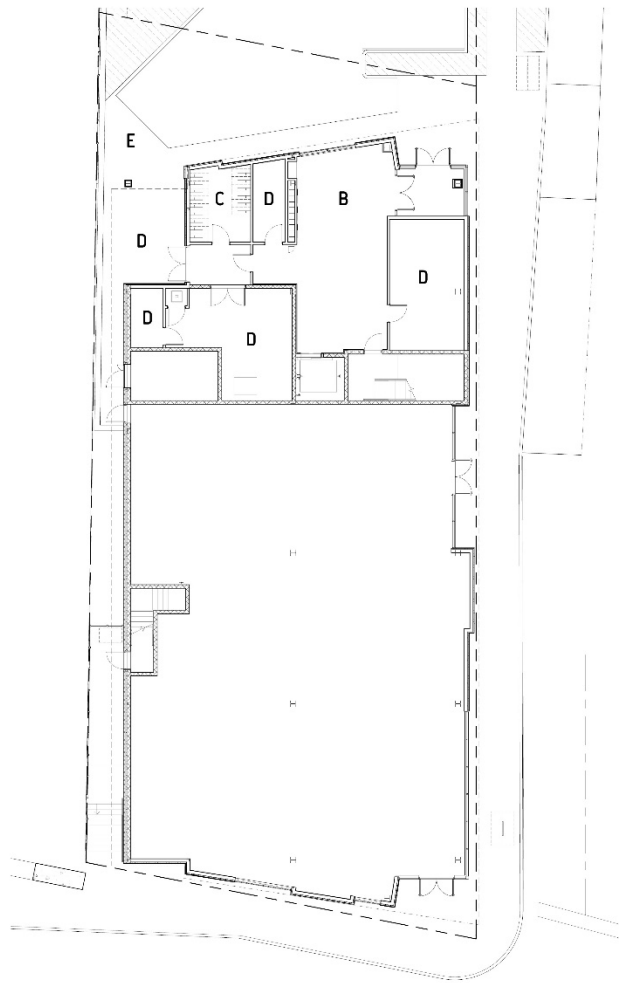
The site, outlined in red, long, shallow, and visible from all directions, including from the Metra trains, presented an opportunity but also obstacles, including difficult access for service and parking. Situated along a “green” corridor and strategically located on a thoroughfare provided the opportunity to create a new “Gateway to Evanston”.



The subtle variations of the aluminum façade panels is intentional as a way to reference materials that might be considered more “natural” and embrace the subtle color changes that occur in nature. The perforated panels continue this strategy. The entire façade is recyclable at the end of the building’s useful life.

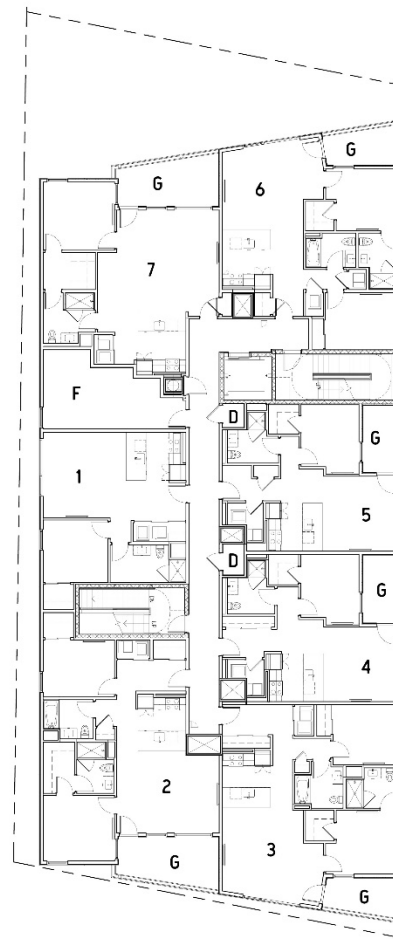


The exposure of the site, visible from all directions, suggested the building would have no “back” allowing all four elevations to be treated as “front” facades. Ground floor entrance to the retail space faces Howard Street, the entrance to the apartments faces north and the parking.

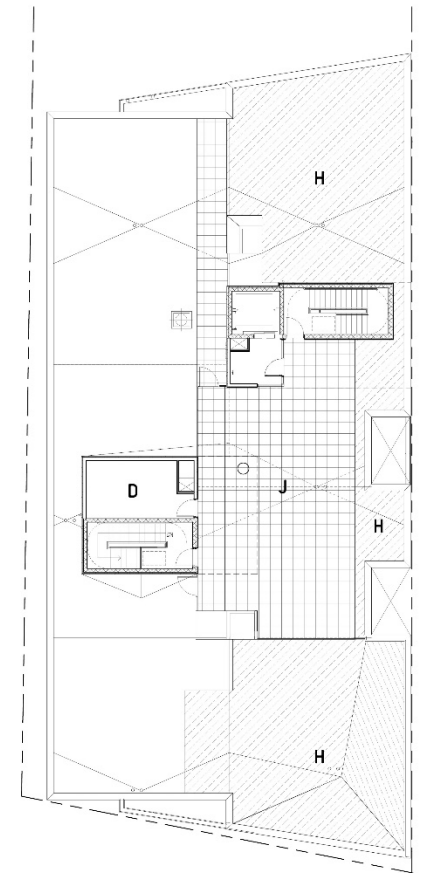


GROUND FLOOR PLAN

- A retail space
- B lobby
- C bike storage
- D building support
- E loading area
- F fitness room
- G balcony
- 1-7 unit types
- H green roof
- J roof deck



TYPICAL FLOOR PLAN



ROOF PLAN

Floorplans indicate the inherent difficulty with designing a building that has no obvious service location, no “back of house” or alley access. Typical unit floorplan also shows the advantage, with virtually every space having large windows providing natural light and ventilation.



Rooftop amenity space is oriented to the east, framing views of the horizon and the Lake Michigan shoreline. Treetops create a field of green in the distance and a constant reference to nature.



We chose to celebrate our urban context, including elements that may by some be considered an eyesore. The CTA trainyard is an essential component of our working city. Rather than turn our back we chose to orient balconies in such a way to directly overlook the unique feature.



From the inside of the units facing north, overgrown vegetation along the Metra embankment both screen the trains and create a tree canopy of green, an unexpected surprise for such an enthusiastically urban site.



A four-year timelapse illustrating the transformation of a neglected corner parking lot into a thriving community asset.



A dramatic profile, aided by conforming the floorplan to the shape of the site as well as sloping portions of the roof and carving out balconies, created a dynamic form and an interesting architectural composition.



DesignEvanston

2024 Awards

Description:

The sinuous and sculptural form of Albion Evanston's 16-story tower is a striking addition to the city skyline. The 322,000 SF multi-use high-rise features 287 apartments, extensive amenities and outdoor spaces, and 9,000 SF of retail space. Inside, its fresh interiors are inspired by the lake and natural materials, and Mid-Century Modern geometric patterns and colors.

The development reinvigorated an underutilized, partially vacant block; increased density in downtown Evanston; and promoted sustainable living and affordable housing for residents. Albion Evanston is certified LEED Silver, and is the first new-construction, multi-family rental building to have on-site affordable housing in Evanston.

Project Name:
Albion Evanston

Category:
New Construction

Address:
1500 Sherman Ave, Evanston

Owner:
Albion Residential

Architect:
**Hartshorne Plunkard
Architecture**

Developer:
Albion Residential

Contractor:
Clark Construction

Completion Date:
2020

Client Vision



BEFORE



AFTER

The client aspired to deliver an upscale residential building with condo-level finishes and amenities found in downtown properties, showcase its urban location overlooking Lake Michigan, and create a gateway for the Sherman Avenue shopping district.

Site Inspiration

Albion Evanston's sinuous and curvy structure gently curves along the commuter train line's route that abuts its west side, and echoes how downtown Evanston rotates 21 degrees from north to south as the lake's shoreline shifts.

Its distinctive architectural form efficiently utilizes an irregular, nearly triangular lot shape – while reinforcing unique site characteristics.





Contextual Design

Albion Evanston is split along its central axis with the sides offset and canted to represent the passing vehicles and the image of movement. The offset window patterning alludes to light coming through the moving windows of trains projected onto adjacent surfaces.

The tower is set back to maintain the low-rise scale at street level and to open up the view to Fountain Square.



Active Streetwall

The three-story masonry base references the forms and materials of neighboring vintage low-rises, while incorporating fenestration patterns from the residential tower above to tie the two forms together. This street wall creates a visually engaging experience for pedestrians through the full length of the block – and also conceals 2 parking levels.

The custom-designed window wall serves as both the exterior cladding as well as the interior finish, realizing aesthetic purposes as well as cost efficiencies.

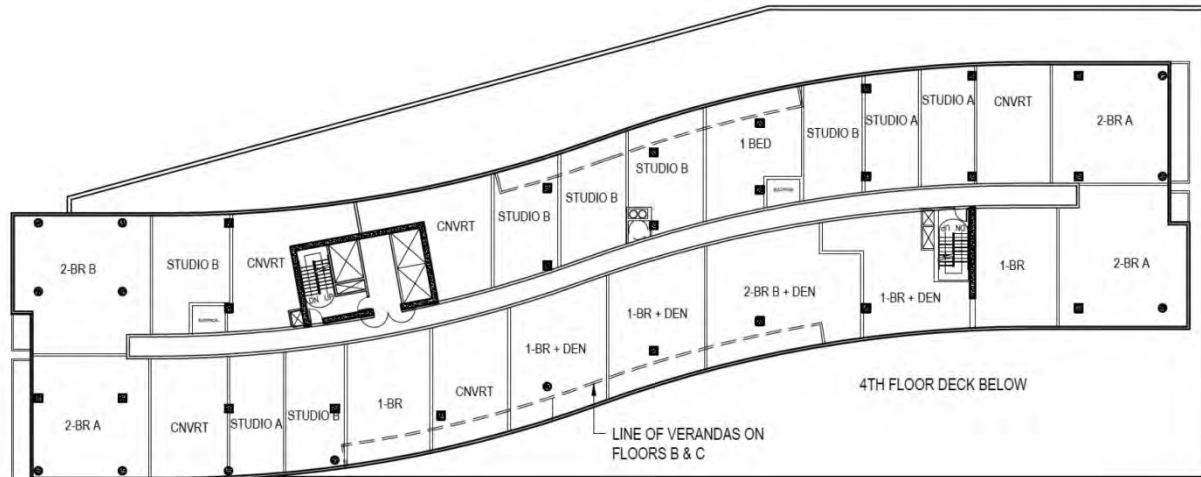
Building Features

Albion Evanston was conceived to be a multi-generational building, with well-equipped units and multiple amenity areas to address the needs of its occupants at different stages in their lives.

- The rooftop deck features a three-season pool, cabanas, an outdoor demonstration kitchen, grilling stations, and panoramic views of Lake Michigan and the Chicago skyline
- The 3,100 SF indoor amenity includes a 360-degree indoor fireplace with seating; ceiling-mounted swing seating; a central bar and demonstration kitchen; co-working spaces; and a library with game wall
- Wellness amenities range from a full-equipped fitness center, yoga lawn and bicycle storage, to a resident garden



UNIT WITH OPEN FLOOR PLAN AND PRIVATE TERRACE



TYPICAL FLOOR PLAN – FLOORS 5-15



Boutique Interiors



CUSTOM CHANDELIERS ACCENTUATE THE RHYTHM OF THE LOBBY



CUSTOM BACKLIT CONCIERGE DESK AND GREEN WALL

Passersby can gaze through upholstered “picture frames” that provide views into the active lobby. Wood slats wrap around columns and extend along the ceiling and walls in a geometric pattern to add warmth and visual interest.



MAILROOM FEATURES GRAPHIC PANELS AND BACKLIT DISPLAYS

Boutique Interiors



CUSTOM MILLWORK DEMARCATES DISCRETE AREAS IN THE 3,100 SF LOUNGE



FIREPLACE LOUNGE AND DEMO KITCHEN WITH INTEGRATED NOOK SEATING

On the rooftop amenity floor, custom millwork screen-walls separate the lounge from the study.

The entertaining lounge is demarcated by a tiled rug, and highlighted by fanciful circle swings, trapezoidal-shaped seating pods, and a decorative firepit.



CO-WORKING LIBRARY

Sustainable Features

- Albion Evanston is certified LEED Silver for New Construction, with an estimated 24% improvement over baseline building performance
- One of the first projects to pursue LEED Pilot Credit 55, a test initiative that aimed to broaden the scope of green building design to include bird-friendly construction measures
- Individual units include Energy Star appliances and a Nest thermostat
- Overall water usage is reduced by integrating water-efficient landscaping, and low-flow fixtures and appliances
- Total green roof space is approximately 8,715 SF



PATTERNED GLASS DETERS BIRD STRIKES

To reduce bird injury and mortality from in-flight collisions with the building, the design team developed a façade and site-design strategy to make the building and site structures visible as physical barriers to birds.

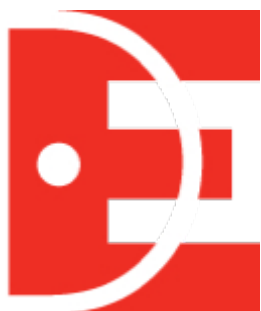
This effort required learning about birds' takeoff and landing patterns, and how to make buildings more visible to them by specifying patterned or fritted glass, louvers, sunshades, etc.

Community Impact

- Albion Evanston has transformed an underutilized, partially vacant block into a gateway to the Sherman Avenue shopping district and the south end of downtown Evanston
- The development has significantly increased annual property tax revenue for the city
- Albion Evanston has added density to Evanston with hundreds of residents who patronize downtown restaurants, retail stores and attractions
- Albion Evanston is the first new-construction, multi-family rental building to have on-site affordable housing in Evanston
- A pocket park on the building's south side is a public amenity to the neighborhood and a visual transition to Harper Park



A PUBLIC POCKET PARK ON ALBION EVANSTON'S SOUTH SIDE FEATURES LANDSCAPING, SEATING AND PUBLIC ART



DesignEvanston

2024 Awards

Description: Clad in a white concrete panelized system with brightly painted metal trim and wood, this lively articulated four-story-tall senior living facility provides a unique pairing of affordable housing and support services in one location. The design builds on the client's mission "to enhance quality of life and facilitate independence of older adults," with 54 one-bedroom and six two-bedroom independent living apartments for seniors age 62 or older, with incomes at or below 60 percent of the area median. The community connects to an existing Adult Day Services Center providing opportunities for shared programming and socialization for both groups of seniors.

Project Name:

Ann Rainey Apartments

Category:

Multi Family Residential

Address:

**1015 S Howard Street,
Evanston**

Owner:

**Evergreen Real Estate
Services, and the Center for
Jewish Elderly**

Architect:

UrbanWorks, Ltd.

Subconsultants:

**Dynacept Engineering (MEP),
C.E. Anderson & Assoc.
(Structural), Terra Engineering
(Civil), Kettelkamp &
Kettelkamp (Landscape Arch.)**

Contractor:

**Evergreen Construction
Company**

Completion Date:

2022





FOURTH FLOOR PLAN



THIRD FLOOR PLAN



SECOND FLOOR PLAN



SITE/FIRST FLOOR PLAN



LOWER LEVEL PLAN

- | | | | | |
|--------------------|---------------------|---------------------------|---|-------------------------------------|
| PRIVATE | 1. SPRINKLER ROOM | 9. OFFICE | 17. KITCHEN | 25. TYPICAL, SENSORY ADAPTABLE UNIT |
| PUBLIC | 2. VESTIBULE | 10. UNISEX | 18. STORAGE | 26. SENSORY UNIT |
| CIRCULATION | 3. TRASH | 11. MECHANICAL / PLUMBING | 19. OFFICE | 27. TYPE A UNIT |
| | 4. LOBBY / CORRIDOR | 12. TELEPHONE | 20. TYPE B, SENSORY ADAPTABLE UNIT | 28. MULTIPURPOSE ROOM |
| | 5. BIKES | 13. ELECTRICAL | 21. TYPE A, SENSORY ADAPTABLE UNIT | 29. SENSORY, TYPE B UNIT |
| | 6. STORAGE | 14. WATER METER | 22. TYPE A / SECT 504, SENSORY ADAPTABLE UNIT | 30. TYPE A / SECT 504 UNIT |
| | 7. JANITOR'S CLOSET | 15. FITNESS | 23. TYPICAL UNIT | |
| | 8. LAUNDRY | 16. SENIOR ACTIVITY ROOM | 24. TYPE B UNIT | |



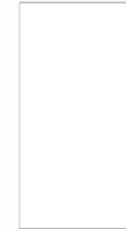
EXTERIOR PRECAST CONCRETE
texture
b.o.d. sw 7066 gray matters



EXTERIOR PRECAST CONCRETE
paint reveals
b.o.d. sw 7102 white flour



PRODEMA_WOOD PANELS
wood panels
prodex_gale



WINDOWS/STOREFRONT
intus windows
white



STOREFRONT GLASS
clear

MURAL
tree mosaic



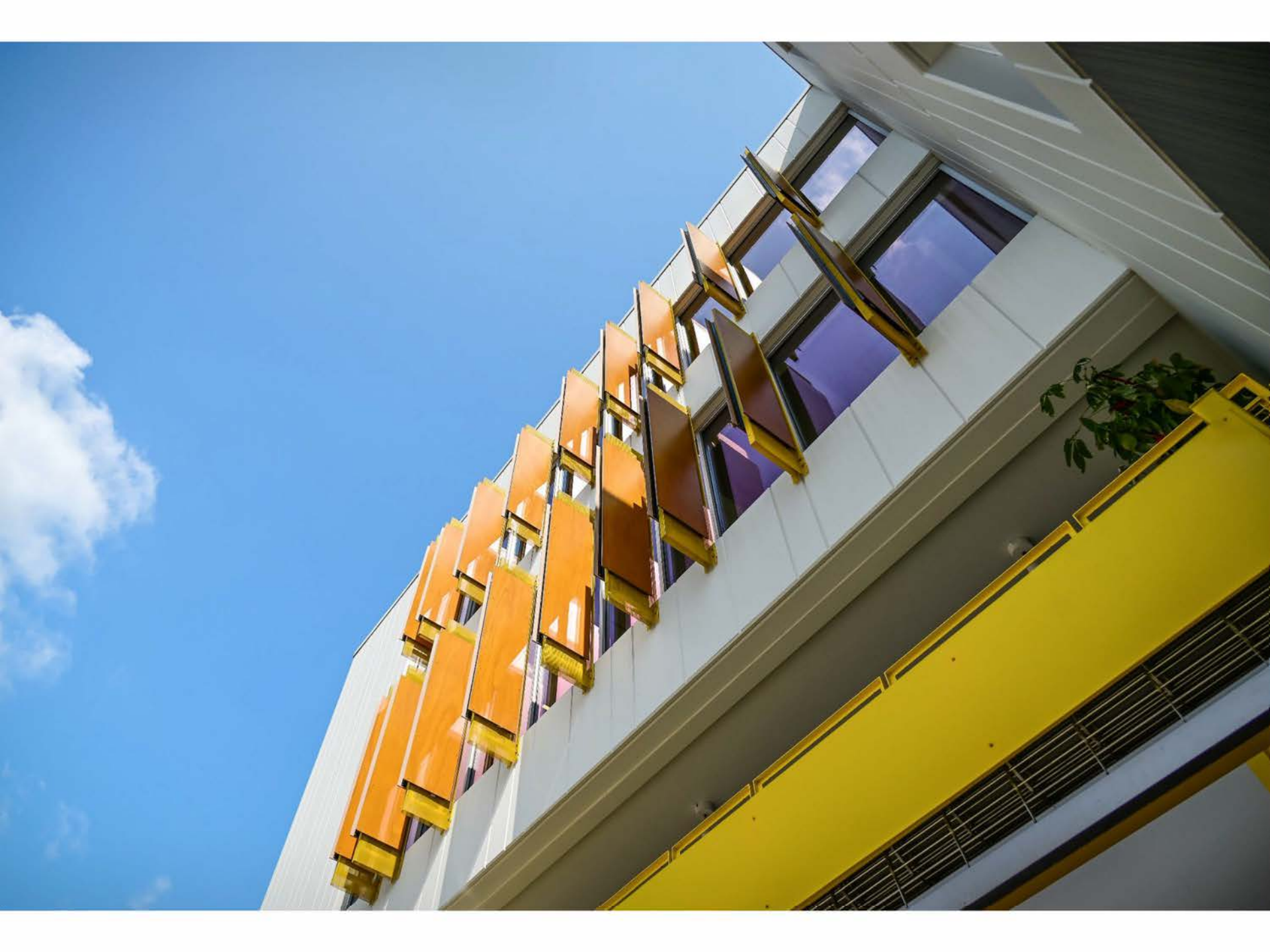
GREEN LIVING WALL
echo_mesh
wire mesh



ALUMINUM FRAMES
metal frames_guardrails_louvers
b.o.d. SW 9020 tayo de sol





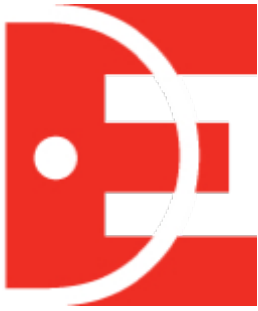












DesignEvanston

2024 Awards

Description: As with deuxPLEX(1), the primary goal of the project was to provide a single-family residential living experience at a multi-family price point. C1 zoning permitted three live/work units on the 8115 SF lot. The narrow lot width, 28'-0" buildable, facilitated a linear, two-level design. The tightly built structure employs multiple passive house techniques including 2x8 wall framing, spray foam insulation, continuous insulation, daylighting and natural ventilation. Cost effective, sustainable, low maintenance products, including high-efficiency HVAC and plumbing equipment, were used. The unit interiors, Units 1 & 3 are 1515 SF and Unit 2 is 1077 SF, are approximately 15% larger than the older single-unit properties in the neighborhood.

Project Name:

triPLEX(1)

Category:

Live / Work

Address:

1310 Hartrey Avenue

Owner:

1310 Hartrey LLC

Architect:

Berry / Spatz Architects

Developer: (If any)

Andrew J. Spatz Associates

Contractor:

Berry / Spatz Architects

Completion Date:

July 2023



East facade facing Hartrey Avenue. Note the use of sustainable and energy efficient materials including continuous insulation and aluminum cladding, soffit and fascia.



East facade detail



South facade facing adjacent car wash and Dempster Avenue



Unit 1 interior showing large open work area



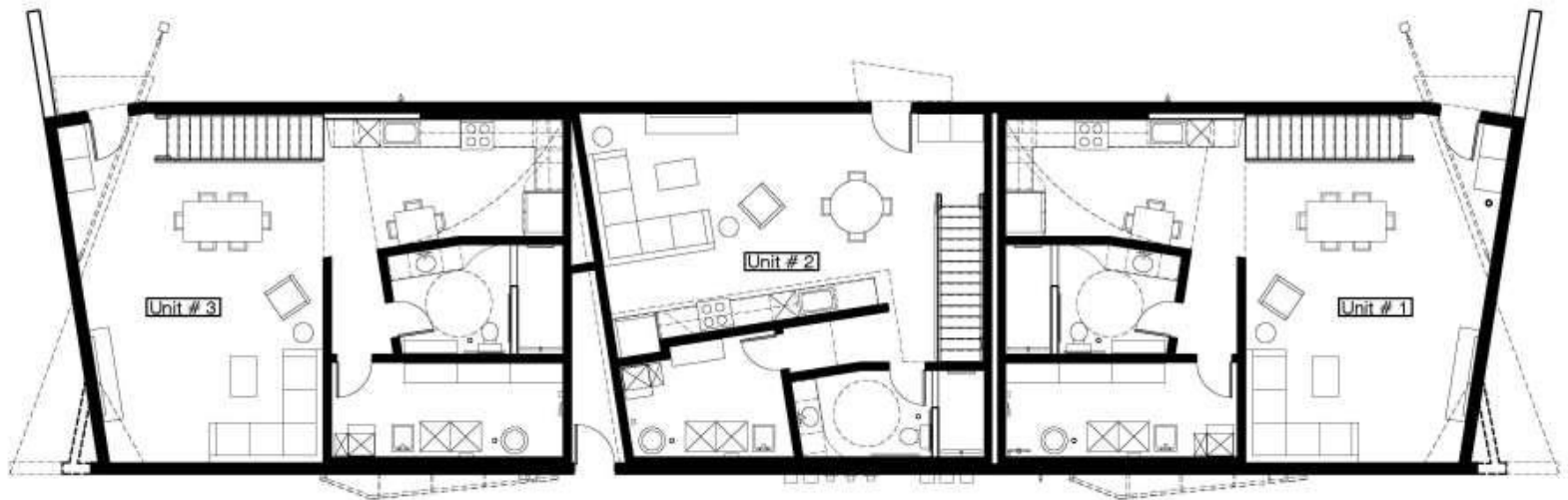
Unit 1 stair up to second floor with kitchen in background



Unit 1 bathroom

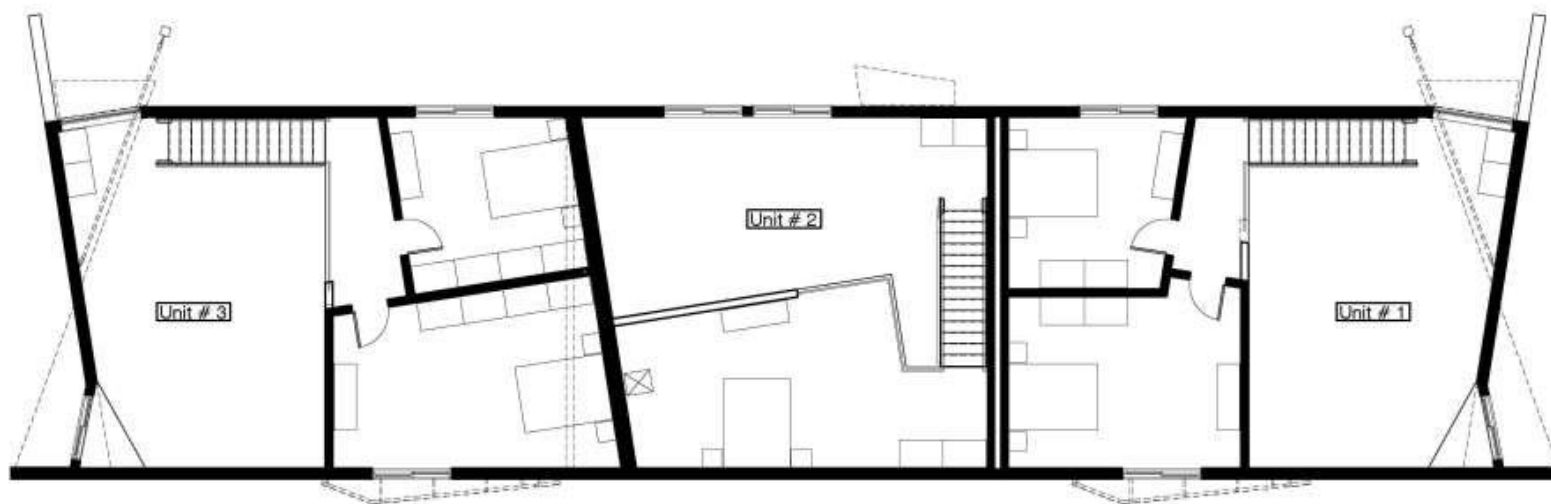


Unit 2 interior showing kitchen, open work area and mezzanine



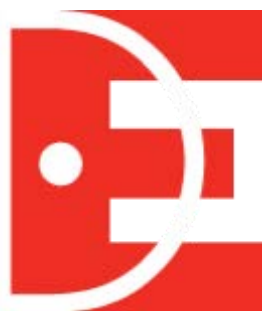
1310 Hartrey First Floor Plan

1/8"=1'-0"



1310 Hartrey Second Floor Plan

1/8"=1'-0"



DesignEvanston

2024 Awards

Description: Our clients loved the mid-century modern character of their home, and wanted to amplify that while adding a primary suite, dining room, mudroom and office. Because the home had a garage off the alley, we could expand the home into the space occupied by a carport. Pushing the addition forward of the home allowed us to introduce a dynamic new roofline and glazing that provides abundant natural light. Removing ceiling rafters over the kitchen allowed us to give it a much more spacious feeling. The client is a graphic designer and contributed significantly to the success of the project.

Project Name:
Amen Residence Addition
Category:
Residential Addition
Address:
2712 Bryant, Evanston
Owner:
Jonathan & Mary Amen
Architect:
Studio Talo Architecture
Developer: (If any)
-
Contractor:
Charlie Brown
Completion Date:
2018



Caption: View of entry from east.



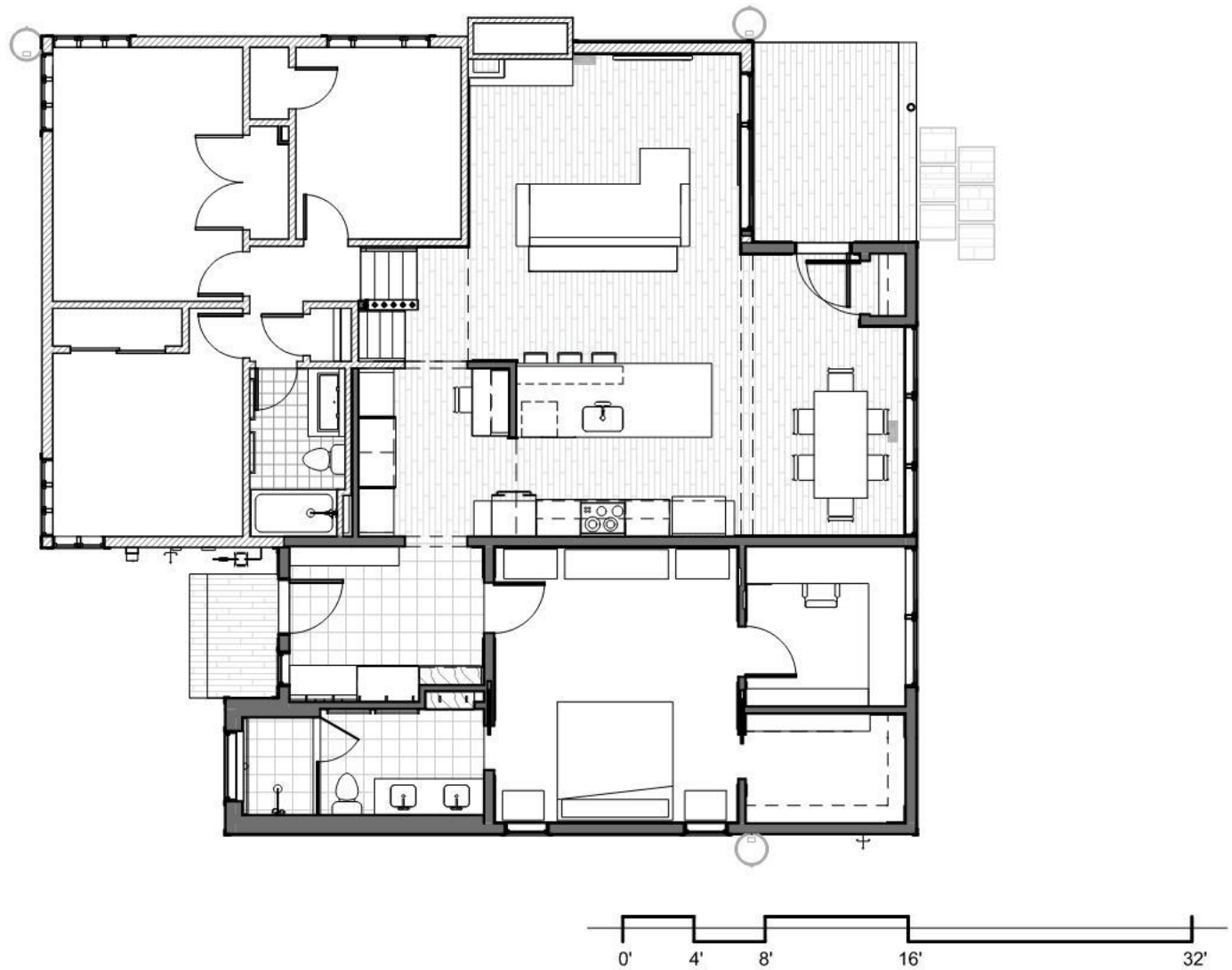
Caption: View of kitchen from north.



Caption: View of butler's pantry.



Caption: View of primary bathroom.



Caption: First floor plan.



DesignEvanston 2024 Awards

Description:

This Federalist style home, located in the Lakeshore Historic District, was thoughtfully renovated inside and out, seamlessly blending the home's historic elements with modern updates.

Areas that were redesigned include a classic kitchen design that features a hidden door within the cabinets that leads to the basement stairs, a series of thin metal framed doors connecting to a new covered porch, and a pop up TV monitor that rises out of the wide plank herringbone wood flooring in the den.

The home was awarded the Illinois Historic Preservation Tax Freeze and was approved by the Evanston Preservation Commission.

Project Name:
Evanston Perfection

Category:
Rehabilitation/Renovation

Address:
1514 Judson Ave.

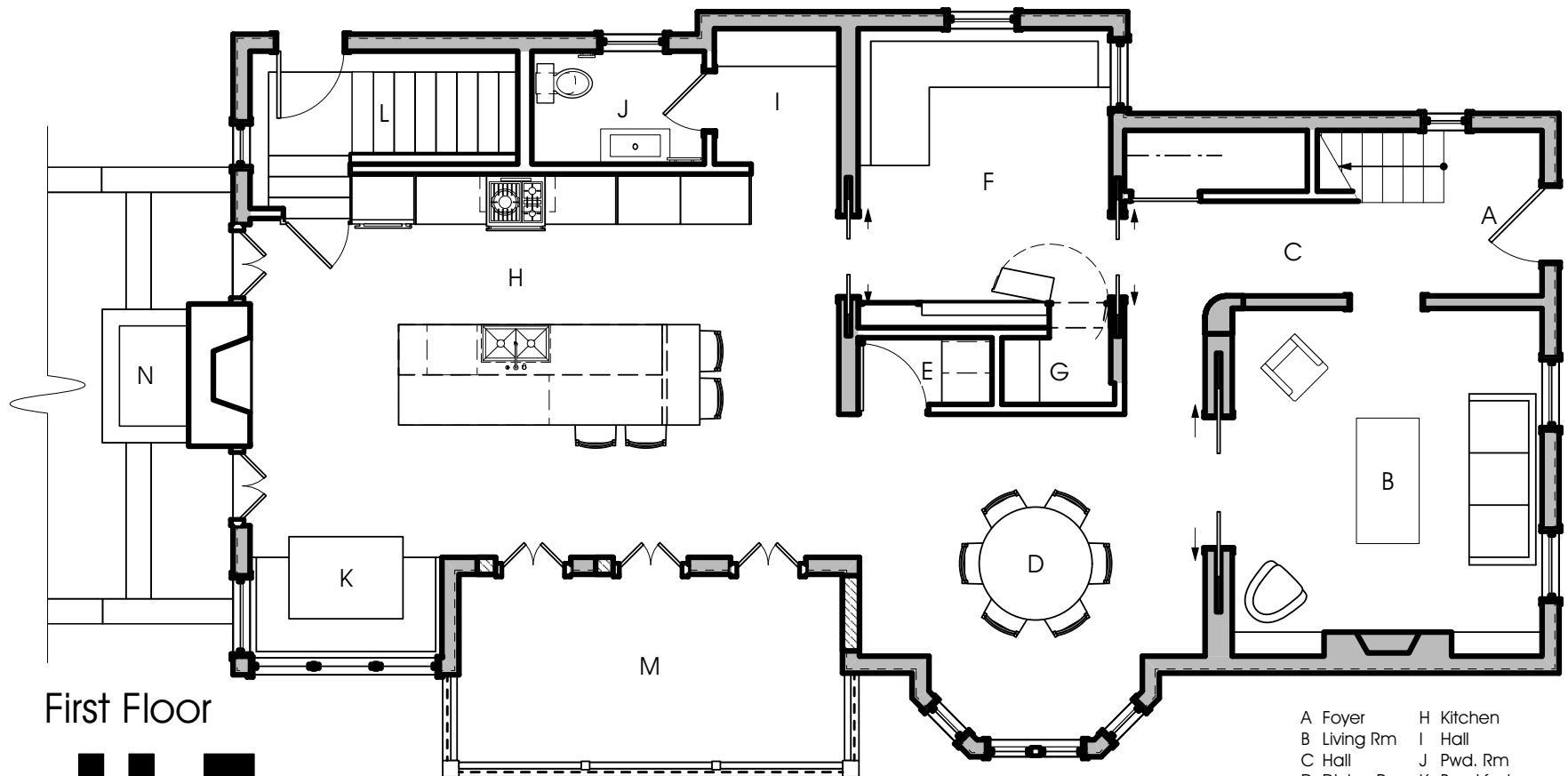
Owner:
Kim and Jeff Cohen

Architect:
Kipnis Architecture + Planning

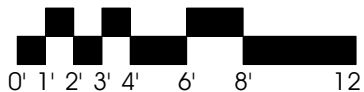
Developer: (If any)
N/A

Contractor:
Berliant Builders, Inc.

Completion Date:
February 2021



First Floor



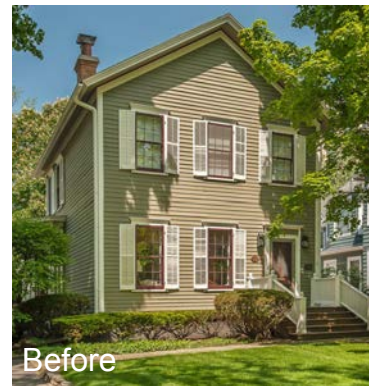
-  Existing Wall
-  New Wall
-  Patch + Fill



- | | |
|-------------|------------------|
| A Foyer | H Kitchen |
| B Living Rm | I Hall |
| C Hall | J Pwd. Rm |
| D Dining Rm | K Breakfast |
| E Bar | L Stair |
| F Den | M Screened Porch |
| G Storage | N Patio |

This renovation required minimal demolition on the exterior and interior, retaining the historic character of the home.

After



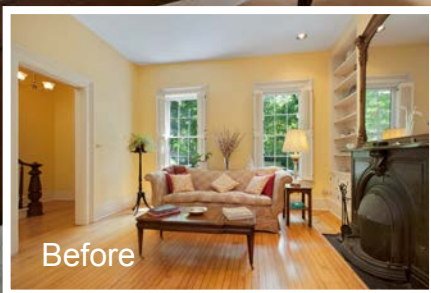
Before

The existing shutters were removed, the siding was painted, and a new Dutch door with a transom window was installed. Towards the rear, the old covered deck is now screened in and the old screen porch is now a patio. Although minimal in number, the alterations to the exterior aesthetically enhanced the facade.

After



Before



The parlor was converted into a living room. Existing built-ins were replaced with new wood. The existing fireplace was kept and refinished with a sleek, matte black finish. The original trim within the home was maintained throughout.

After



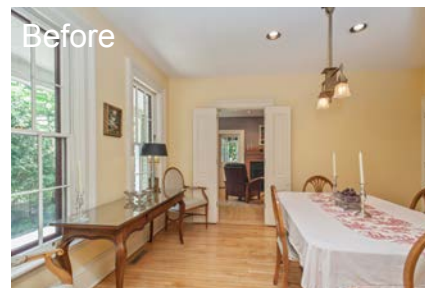
The living room was converted into the dining room. Original pocket doors between the new living and dining rooms were restored. The bay window was kept and accentuated with a new, round, dining table.

After



The wall between the old dining and family rooms was demolished to create an expansive space for the new kitchen. The old one was located where the new basement stairs are. The existing family room fireplace was updated to be a modern, wood burning fireplace, acting now as a kitchen centerpiece.

After

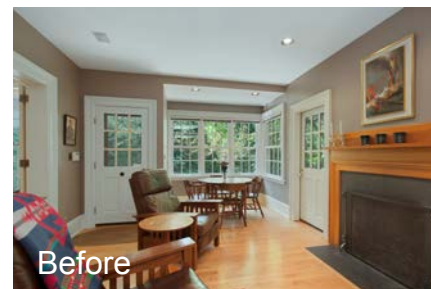


New, insulated, steel windows and doors were placed in the new kitchen space. Gold finish fixtures were used throughout. Even the flush mounted HVAC registers are a gold finished metal, adding a warmth and richness to the home. The new herringbone, French Oak flooring was used throughout the first floor.

After

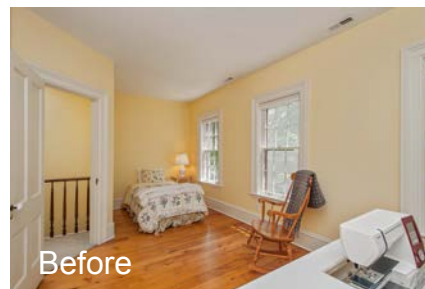


A custom bench and table were designed for the breakfast nook.



Before

After



Before

The hall bedroom now features built-ins surrounding the headboard. These not only provide an elegant storage solution but also conceal the flue from the fireplace below. A small nook acts as a nightstand, and the lighting fixtures add both character and functionality to the space. The curvature and color palette add a playfulness to this kids' room while still being sophisticated.



This modernized primary bath now features a freestanding tub centered beneath the window, a glazed ceramic tile shower, and a floating, marble vanity. The terracotta floor tile is in a herringbone pattern similar to the first floor.



DesignEvanston 2024 Awards

Description:

This one story coach house was designed prior to the recent popularity of ADUs. The unique site provided a large side yard for a fully accessible, on grade ADU in which the clients' parents can live a high quality of life close to their family.

The design is an efficient one bed, one bath layout which includes a living, dining, laundry, and a full kitchen.

Wide hallways and doors, and a ramped entrance through the garage ensure the coach house is fully accessible.

The facade of the ADU was designed in harmony with the historic details of the adjacent home.

Project Name:

A Historic Accessible ADU

Category:

New Construction or Additions

Address:

522 1/2 Forest Ave

Owner:

C. Epting & S. Haverkamp

Project Team:

N/A

Architect:

Kipnis Architecture + Planning

Developer:

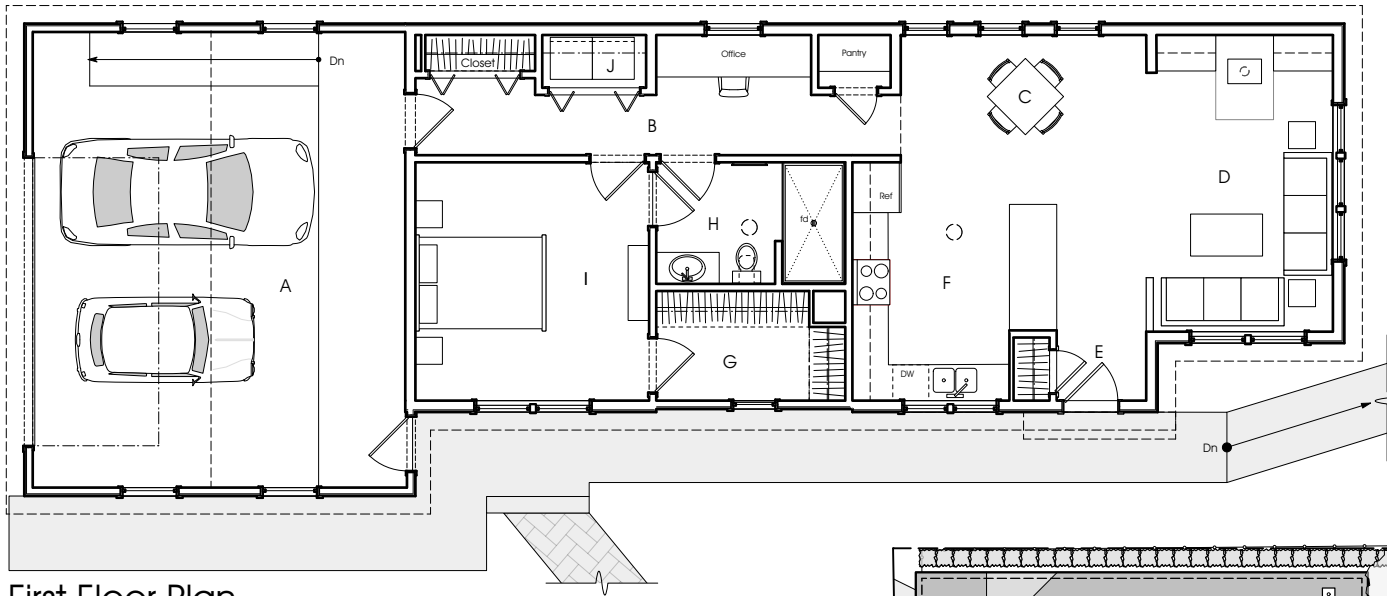
N/A

Contractor:

Omega Structures Inc.

Completion Date:

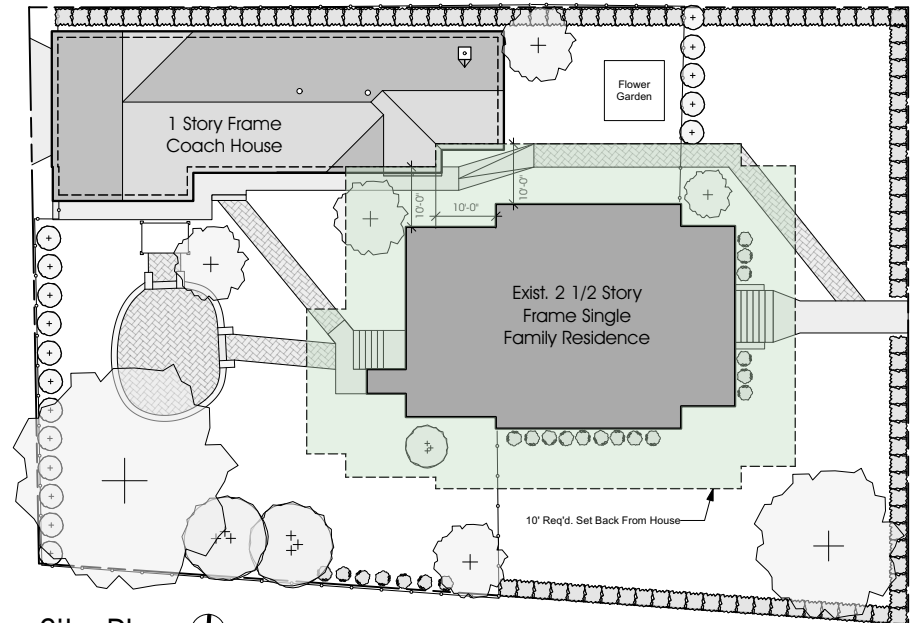
2018



First Floor Plan



- | | |
|--------------|-----------|
| A Garage | F Kitchen |
| B Hall | G Walk-In |
| C Dining Rm. | H Bath |
| D Living Rm. | I Bed |
| E Foyer | J Laundry |



Site Plan



The required 10 foot set back informed the footprint of the coach house as shown by the green area on the site plan. The large existing side yard allowed for this single story coach house to be built while maintaining a south facing rear yard.



The new ADU relates to the existing, historic home. Privacy is maintained with layers of landscaping between the new ADU and Forest Avenue.



The casement windows on the ADU limit thermal bridging compared to the main home's double hung windows. The window's divided lite pattern relates to the main house as do the smaller details like the triangular gable louver vent and the fascia with crown molding.



The leftmost massing is the garage facing the alley, and the remainder of the building is the coach house on grade. The trim, roof characteristics, color, and siding on the new structure match that of the existing house.



The wood, trim, cornice, and transom window on the new ADU entrance relate it to the primary home's front entrance. Unlike the main house, the coach house has an accessible entrance at grade.



In accordance with the zoning code, the new ADU is set 10 feet from the primary house. This set back influenced the layout of the ADU. It is rare that a site affords enough side yard space to allow for this.



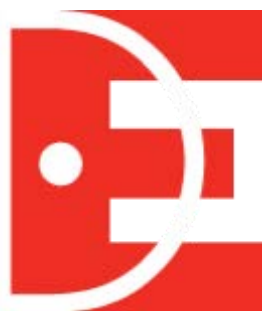
This U-shaped kitchen is naturally lit by a combination of natural daylighting from a sun tunnel and central window, along with recessed LED lights. This provides a comfortable experience in the kitchen.



The living room receives ample daylight and natural ventilation from the two large window groups. A high efficiency, European wood burning fireplace with outside combustion air sits centered on the other wall; the couple living here fuels their fires with wood they cut from the trees that were removed for the ADU.



In lieu of a full room, a nook was left in the hallway to act as an office. A window connects the space to the outdoors with views, natural light, and natural ventilation.



DesignEvanston

2024 Awards

Description: The project is a three-bedroom accessory dwelling unit addition to a masonry garage on an alley, adjacent to the Foster Purple line stop in Evanston. The efficient three-bedroom plan meets our clients' goal of additional rental income and furthers the city's goal of increasing and diversifying the city's housing stock near public transportation. The gritty alley context and adjacency to the El suggested an industrial-modern aesthetic. Corrugated metal siding fits its context, and clerestory windows and vaulted ceilings create a well-lit spacious feeling in the living and dining rooms.

Project Name:
Karoll Accessory Dwelling Unit
Category:
Residential Addition
Address:
830 Hamlin, Evanston
Owner:
Sara and Albert Karoll
Architect:
Studio Talo Architecture
Developer: (If any)
-
Contractor:
Flynn's Contracting
Completion Date:
2021



Caption: View through Foster stop platform.



Caption: View from northwest.



Caption: View of addition from rear yard.



Caption: View from alley looking west.



Caption: View from alley looking northwest.



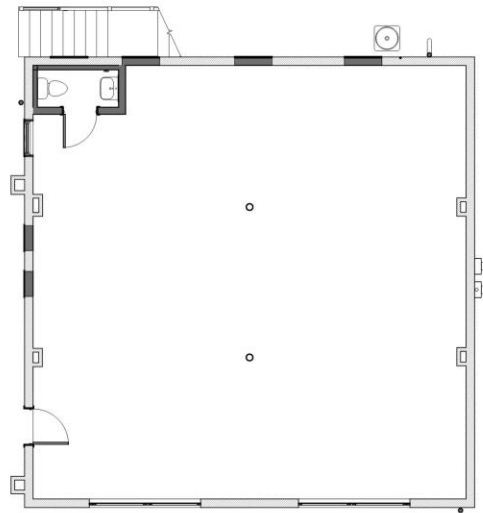
Caption: View of interior.



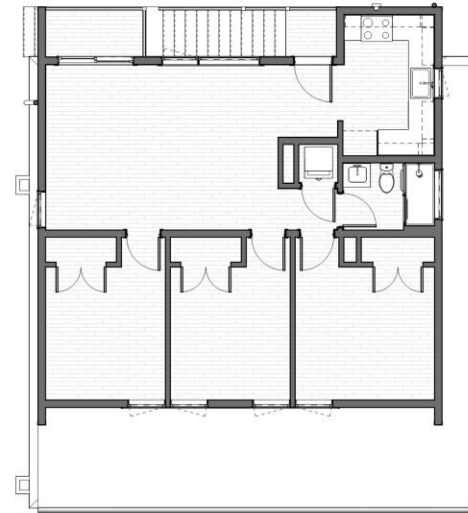
Caption: View from southwest.



Caption: Detail of northeast corner.

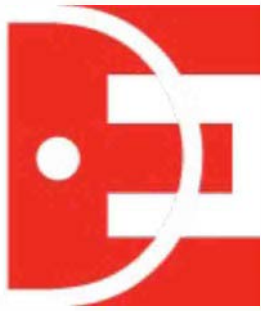


① GROUND FLOOR PLAN
1/4" = 1'-0"



② 2ND FLOOR PLAN
1/4" = 1'-0"

Caption: First and second floor plans.



DesignEvanston

2024 Awards

Description: A century-old sanctuary reimaged, Lodge Evanston represents a new style-forward interpretation of modern living where north shore meets city center. Designed by Philadelphia-based ISA, noted for innovative design with a strong environmental agenda, Lodge Evanston expresses its connection to the natural environment within its urban context. Lodge Evanston offers direct access to world-class educational and cultural amenities, an abundance of transit options, and access to the best of downtown Evanston, including dining, boutiques, parks and beaches. Lodge Evanston delivers a bright, joyful and inspired environment to thrive.

Project Name:

Lodge Evanston

Category:

New Construction

Rehabilitation / Renovation

Multi-Family Residential

Sustainable (All-Electric)

Address:

1700 Oak Avenue

1712 Oak Avenue

Owner:

Church and Oak LLC

Architect:

ISA

Developer:

Campbell Coyle

Jodi Development

Ranquist Development Group

Contractor:

BASEBLD

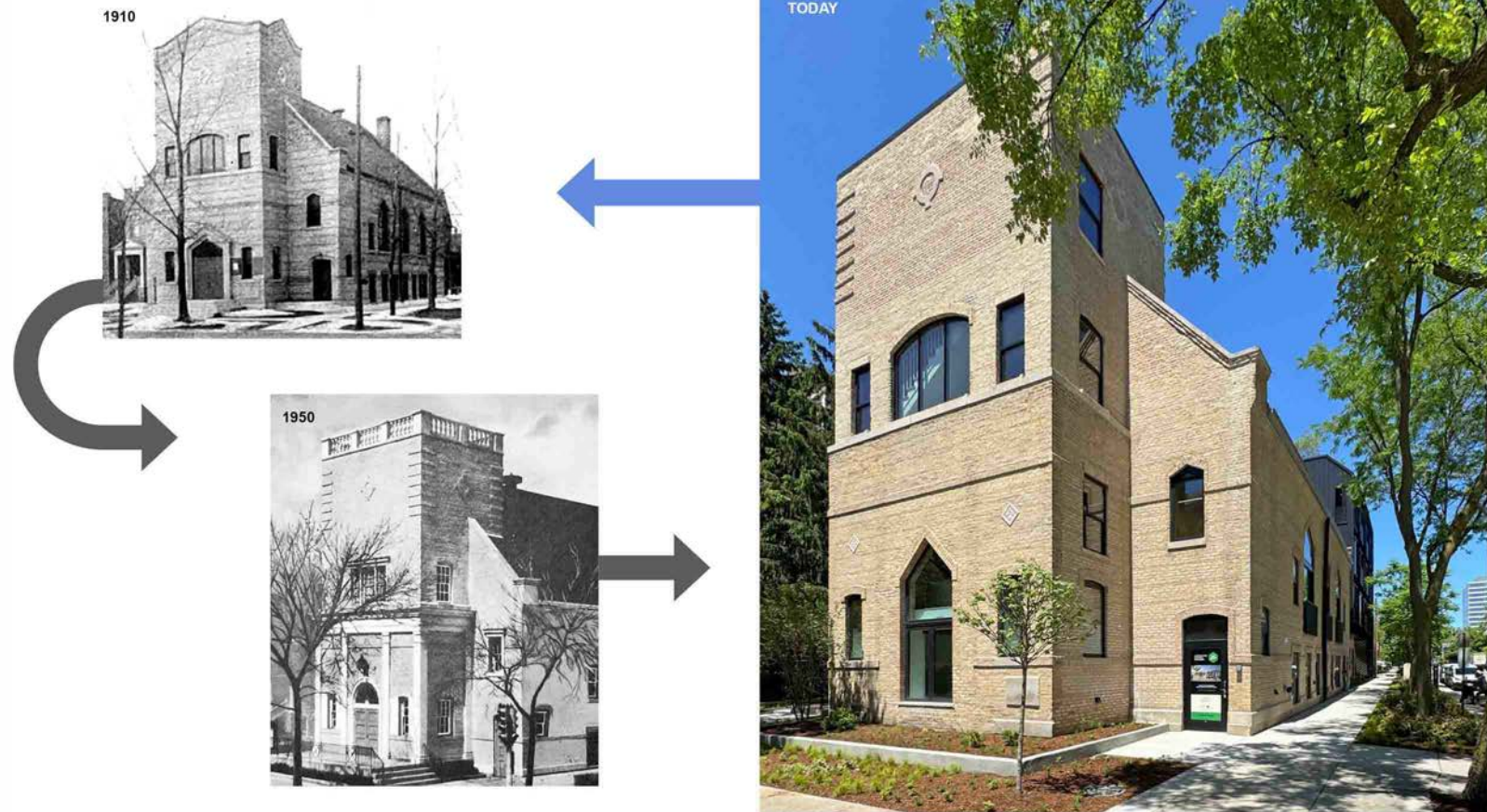
Completion Date:

April 29, 2024

LODGE EVANSTON.



EVANSTON IL



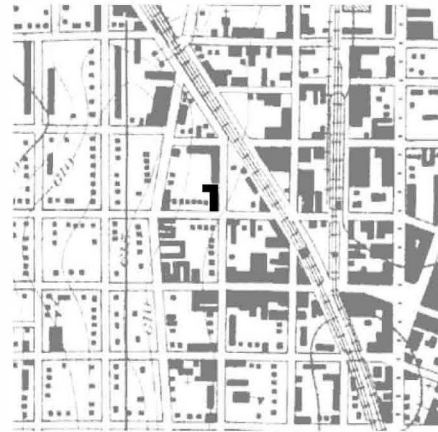
RETAINING HISTORY FOR A NEW PRESENT

Lodge Evanston revived an abandoned church structure downtown, transforming it with a new addition into 30 apartments a few blocks from Northwestern University and two transit lines (CTA and Metra) connecting to downtown Chicago. Originally constructed at the corner of Church Street and Oak Avenue in 1910, the existing building was used by the Sojourner Covenant Church for over a hundred years. Like many urban congregations, it had dwindled to just 25 people by 2018, and decided to sell the building. In order to learn more about the building's past, the developer visited Evanston's city archives and uncovered photographs of the original brick facade, which differed substantially from its condition at the time of the sale.

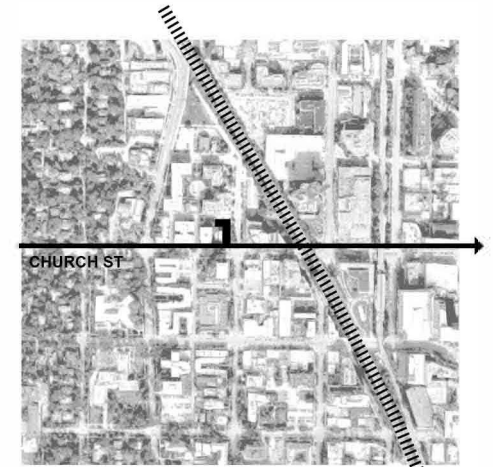
Composed of common brick with little ornamentation, the original facade featured arched windows and a distinctive pointed opening above the main doors. A 1950 renovation – whose changes were still intact at the time the property was acquired – had added painted decorative window trim, faux pilasters and a half moon transom at the main entry doors, covering up the building's original historic design. The design team worked with the historic commission and the found imagery to strip back added elements, restoring original window openings and sandblasting the brick surface back to its original unpainted condition.

SAVED FROM DEMO

Straddling the boundary between low-density residential urban fabric to the west and a large-scale commercial and institutional mixed-use zone to the east, the project preserved a key piece of Evanston's historic fabric while adding housing density with a diverse mix of unit types on an underutilized and transit-adjacent lot. The project developer, a housing specialist based in nearby Chicago and well versed in adaptive reuse, initially assumed the church structure was too difficult to reuse due to the scale and configuration of its double-height sanctuary and split-level entry. The design team initially studied options for demolishing the church and infilling the site to zoning code maximums with a double-loaded corridor building, but the narrow width and required setbacks on the L-shaped site created an inefficient envelope for housing.

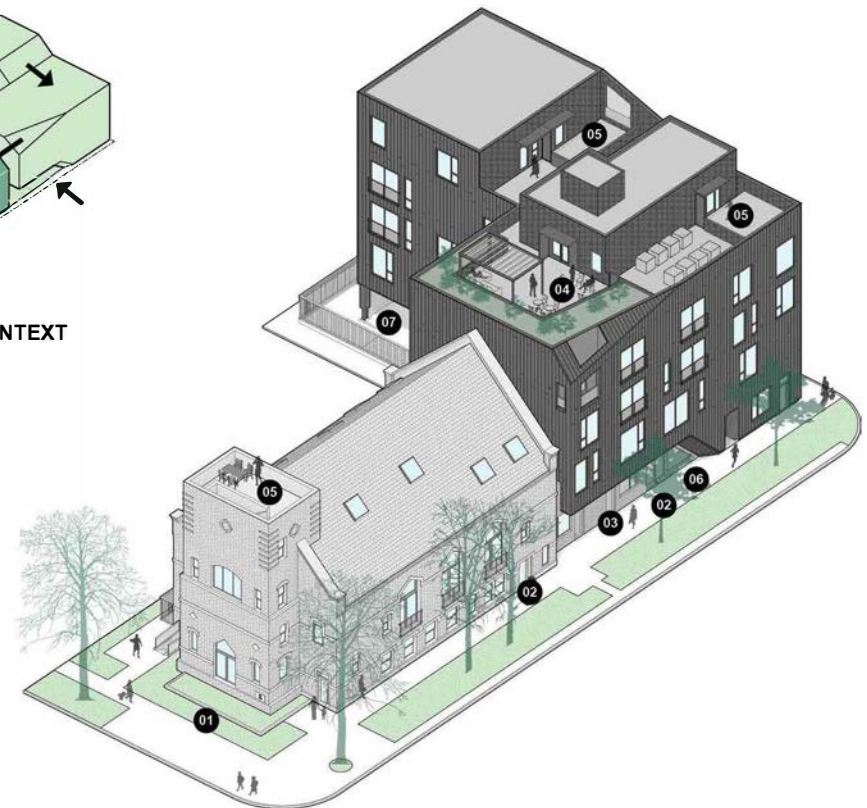
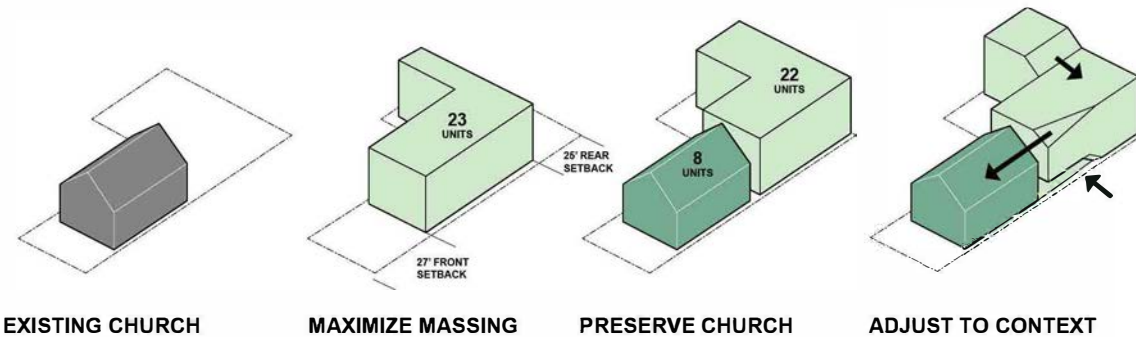


1920s



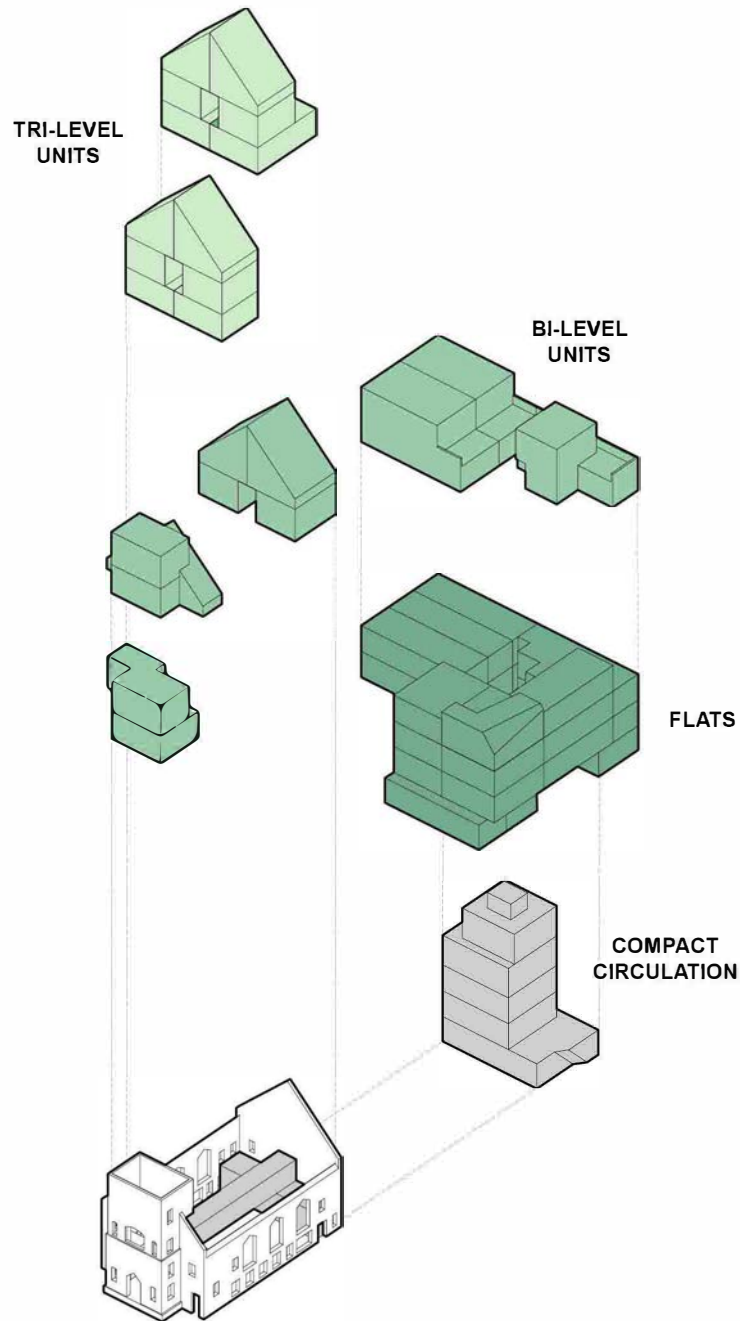
TODAY

CHICAGO
LOOP LINE



- 01 LANDSCAPED FRONT YARD
- 02 BUILDING LOBBY
- 03 ADA GROUND LEVEL UNITS
- 04 COMMON ROOF DECK / GREEN ROOF
- 05 PRIVATE DECKS
- 06 BIKE PARKING
- 07 PARKING LOT





CREATING VARIETY

Retaining the existing church structure and adding a compact addition maximized unit count as well as perimeter wall area for light, air and views. The resulting unit mix of flats and unique bi-level and tri-level typologies provided unexpected layouts and special interior experiences for residents, creating a defining identity for the project, unlike the typical sameness promoted in the new construction marketplace. The building is a model for inclusionary housing, with three affordable units, including one 2-bedroom and two 1-bedrooms. Three ground floor units provide ADA-accessible flats entered directly off Oak Avenue, including one Type A unit and two adaptable units.





SECTION PERSPECTIVE

OLD AND NEW

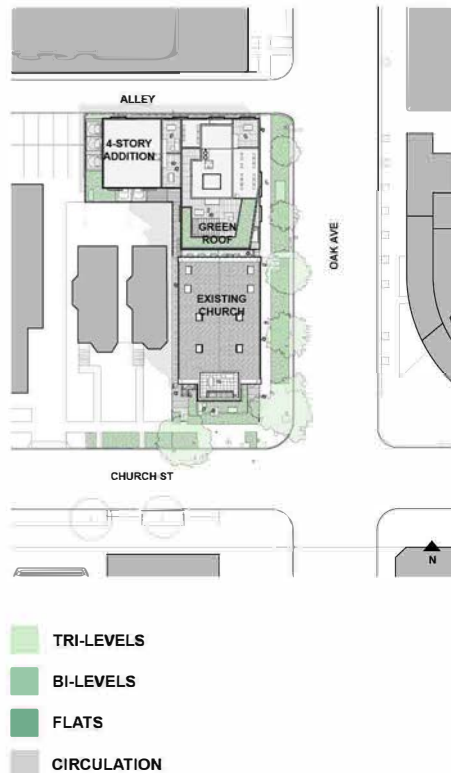
The new construction addition was an exercise in responsive infill. Tightly organized around a central circulation core, the building's ground floor lobby faces Oak Avenue, with eight parking spaces tucked behind. Rooftop massing adjustments align with the church's pitched roof and open access to private and common walk-out decks. At grade, an inset reveal and a canted canopy draw pedestrians into the lobby. Clad in black standing seam metal, the addition contrasts with the neutral brick of the existing church structure, clarifying old and new.



GREEN PLANNING

The project meets numerous green building measures. In addition to the embodied energy preserved through the retention of the brick masonry church structure, the building envelope exceeds prescriptive provisions of the Evanston Energy Code by 10% and incorporated bird-friendly features like low-reflectivity glazing and limited exterior lighting. The interiors incorporated watersense fixtures, low VOC paints, coatings and adhesives and the systems design included all electric appliances and AC/condenser units under 65,000 BTU with minimum SEER ratings of 12. The landscaping and green roof design at the common deck incorporates habitat for monarch butterflies and other at-risk insect populations. Twenty bicycle parking spaces within the building plus six outside provide alternatives to car-based lifestyles for residents.

SITE PLAN



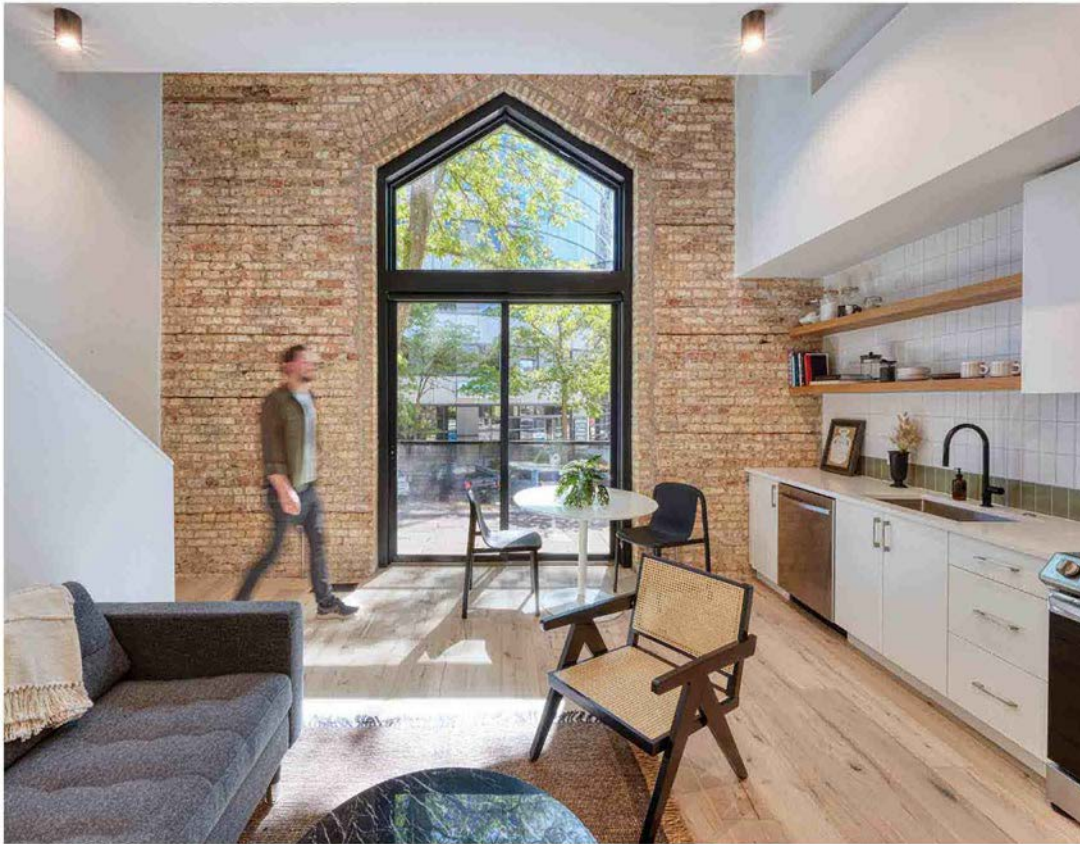
GROUND FLOOR



TYPICAL FLOOR



FLOOR PLANS

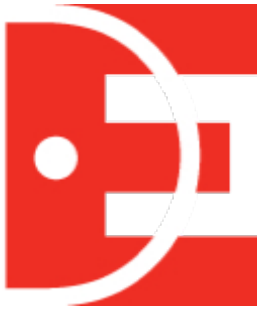


SOLVING CIRCULATION

A creative approach to interior circulation reconfigured the tall interior volume of the church sanctuary into eight units accessed through a mid-level double-loaded corridor. Four tri-level apartments and four stacked bi-levels at each end are designed to live like townhomes, with bedrooms above and below central living areas. Unit interiors highlight the existing character of the structure, with extra large windows, skylights and original exposed wood trusses at the top level.







DesignEvanston

2024 Awards

Description:

Modern universities are at the intersection of research and education, evolving as the place where faculty are both educator and investigator, and students are on campus to learn as well as assist with research – this new facility is a bold example of that intersection.

Originally occupied by a library, this site is adjacent to many science buildings and an ideal location for a research building. The existing superstructure was enveloped within a new building above and on all sides. Housing diverse research and library programs, the design encourages interaction of researchers and students while providing space for study and investigation.

Project Name:

**Northwestern University,
Mudd Hall Science and
Engineering Library and
Laboratories**

Category:

**Architecture –
New Construction / Additions**

Address:

2233 Tech Drive; Evanston, IL

Owner:

Northwestern University

Architect:

Flad Architects

MEP Engineer:

Affiliated Engineers, Inc.

Contractor:

Walsh Group

Completion Date:

8/1/2017



BUILDING ENTRY FROM QUAD



NORTHEAST VIEW



NORTH VIEW



LIBRARY ENTRY – A 21ST CENTURY DIGITAL COMMONS



TRANSPARENCY ACROSS QUIET AND PUBLIC STUDENT SPACES



INFORMAL CONNECTIONS BETWEEN FACULTY AND STUDENTS



VISUAL CONNECTION BETWEEN PROGRAM SPACES



COLLABORATIVE AND INDIVIDUAL STUDY SHARE SPACE



OPEN STAIR



DesignEvanston 2024 Awards

Description: For nearly 30 years, YWCA Evanston North Shore's domestic violence shelter has provided refuge for thousands of women and children. To meet growing needs, a new campus and Family Support Center was built starting in 2020, offering more rooms, workforce training, and dedicated spaces for financial education and racial equity work.

In Fall 2021, the new campus and Mary Lou's Place shelter opened, housing up to 66 people with 23 rooms, providing privacy and access to essential services. This expansion allows YWCA to further its mission of eliminating racism, empowering women, and promoting peace, justice, freedom, and dignity for all.

Project Name:

**YWCA Evanston/North Shore
Expansion**

Category:

**New Construction or
Additions; Multi Family
Residential; Institutional**

Address:

**1215 Church Str., Evanston, IL
60201**

Owner:

YWCA Evanston/North Shore

Architect:

**Landon Bone Baker Architects,
LTD.**

Developer: (If any)

N/A

Contractor:

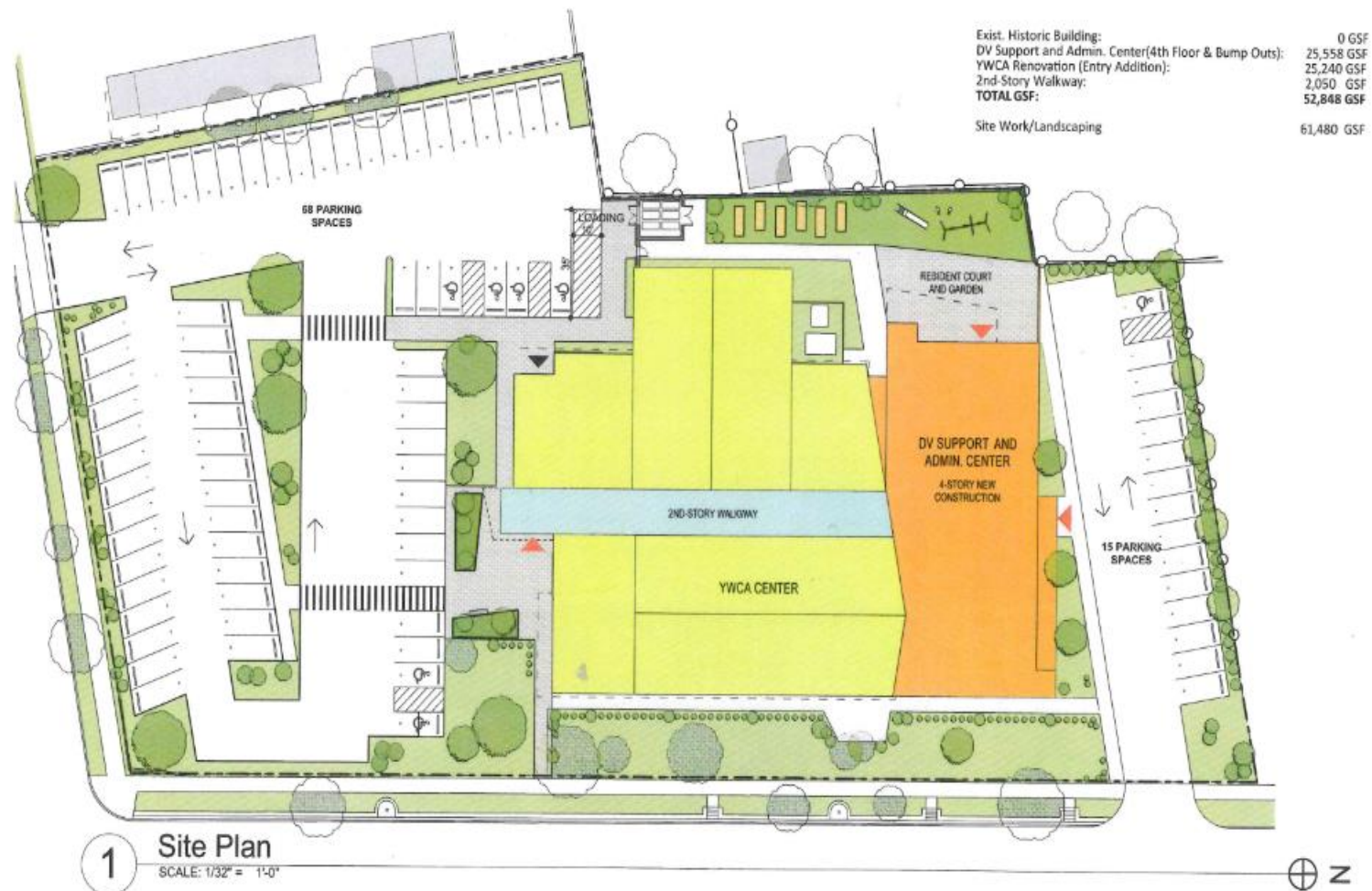
W.B. Olson, Inc.

Completion Date:

Fall 2021



Caption: For nearly 30 years, the house purchased in 1969 by YWCA Evanston North Shore has served as a vital domestic violence shelter. It has been a refuge for thousands of women and children, offering them a safe place to walk its floors and rest in its beds. As the decades have passed, the area served by the shelter has expanded from Evanston to Glencoe and westward to the Tri-State Tollway. This growing demand has underscored the need for renovation and, more critically, additional space. To meet the needs of the broader community, a new Family Support Center was envisioned and developed.



LADDON BONE BARER ARCHITECTS
 1425 N. LARAMIE AVENUE, SUITE 100, CHICAGO, IL 60610
 P 312.394.9100 F 312.829.3702
 WWW.LBBA-ARCHITECTS.COM

Site Plan

YWCA Evanston/North Shore
 1/9/2019

Caption: 2019 brought about collaboration with local architects and builders, designing a larger facility to expand the domestic violence shelter, offering more rooms and dedicated spaces for workforce training. These spaces are essential for helping women build skills that enhance financial stability for themselves and their families. Additionally, we created areas specifically for financial education in both English and Spanish, along with ample space to convene and advance our Equity work in eliminating racism.



Caption: In December 2020, the original house was deconstructed to make room for a new entrance to the YWCA Evanston/North Shore.



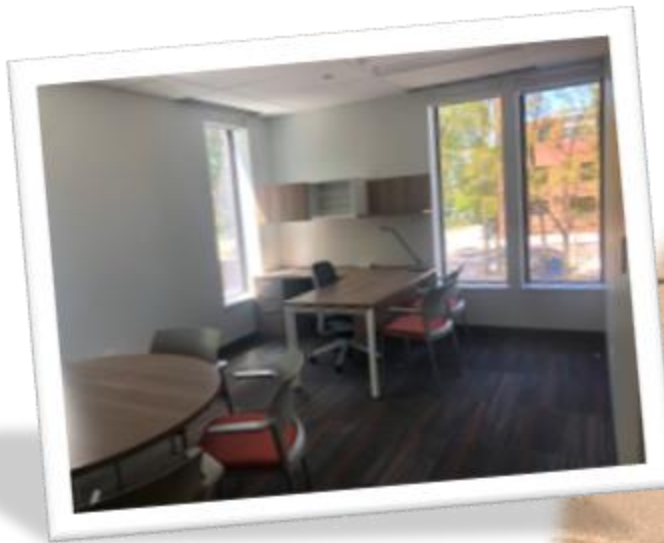
Caption: Rendering capturing the front entrance.



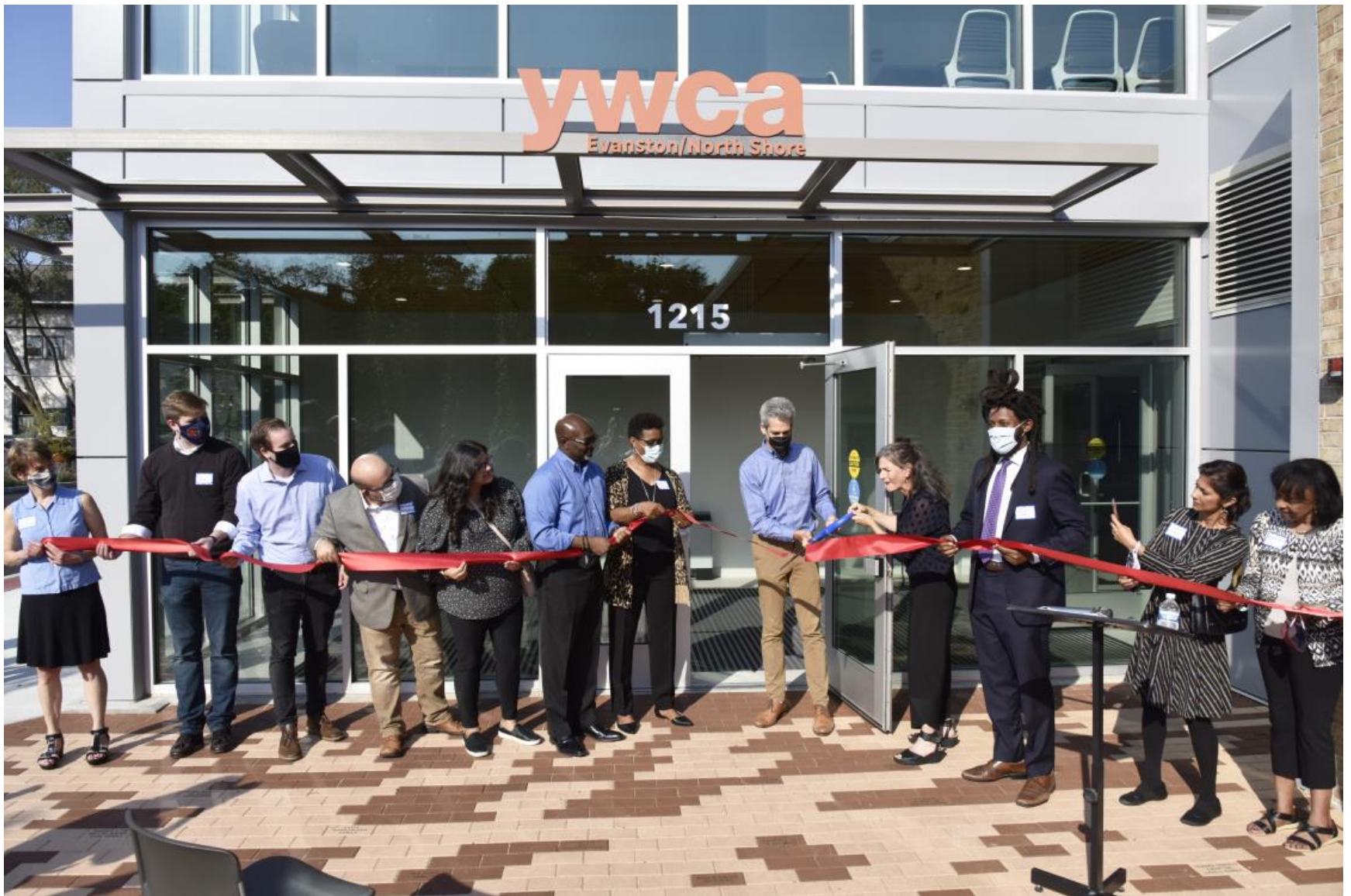
Caption: The domestic violence shelter was relocated to the north side of the large pool, now offering secure access that is independent of the administrative and recreational areas of the building. Residents of the shelter benefit from all the services provided by the YWCA while also enjoying the privacy needed to heal from the trauma of domestic violence. The new shelter includes dedicated spaces for individual counseling and communal areas designed for adults, teens, and children.



Caption: Rendering capturing the Domestic Violence Shelter with separate entrance.



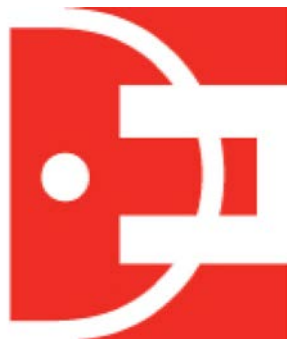
Caption: Interior areas throughout the new campus.



Caption: 2021 Ribbon Cutting.



Caption: In the fall of 2021 the new shelter opened for residents. The new shelter has 23 rooms and can house up to 66 people. The children's room offers therapeutic play space for children to work with counselors to heal from their trauma. The commercial-grade kitchen in the shelter is a space for hands-on training in culinary arts for participants in the YWCA Evanston/North Shore workforce development program. Community outreach has increased through the development of teen violence prevention training and certified adult 40-hour domestic hour training. The expansion of the YWCA Evanston/North Shore allows for a concentrated pursuit of the mission by providing empowerment opportunities for women and girls.



DesignEvanston 2024 Awards

Description: The Kellogg Global Hub was designed to support the academic vision to reposition business education to be empathetic and purpose driven. The structure's curvilinear and cantilevered form responds to pedagogical approaches, scale of campus, force of Lake Michigan to the east, and iconic Chicago skyline to the south.

The interior is connected through pathways and terraces that facilitate circulation and visual transparency. The five-storey LEED Platinum building provides a variety of signature classrooms and convening spaces for all scales of learning and collaboration. At its heart is Gies Plaza, a three-storey atrium and meeting place for students, faculty, and visitors.

Project Name:

Kellogg Global Hub

Category:

Architecture - Institutional

Address:

2211 Campus Drive, Evanston

Owner:

Northwestern University

Architect:

KPMB Architects, Thornton

Tomasetti (structural), AEI

Affiliated Engineers (MEP),

Eriksson Engineering (civil,

geotechnical), Transsolar

(energy, climate), Hoerr

Schaudt (landscape), HJ

Kessler Associates (LEED),

Tilotson Design Associated

(lighting), CM Architects

(accessibility)

Developer: (If any)

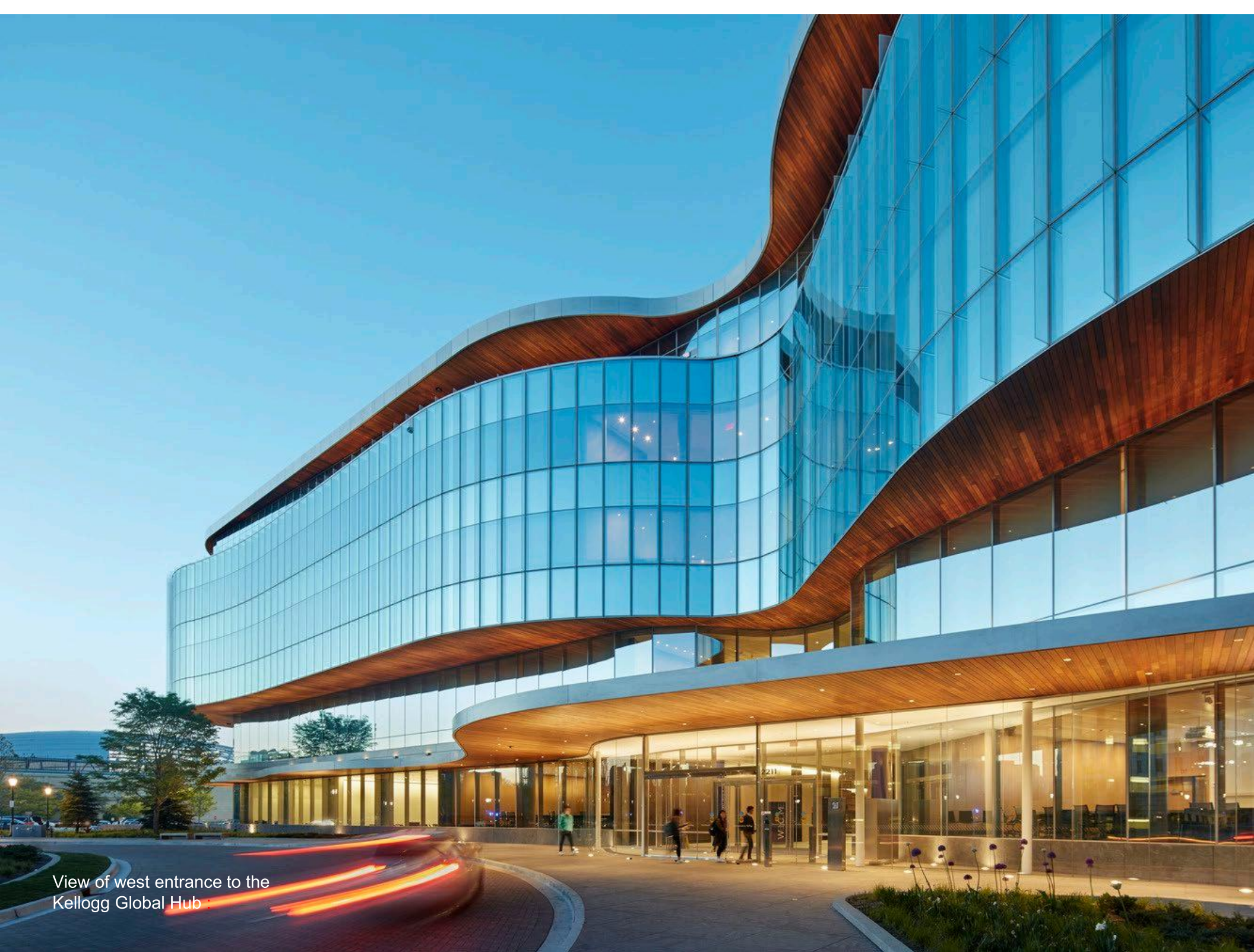
N/A

Contractor:

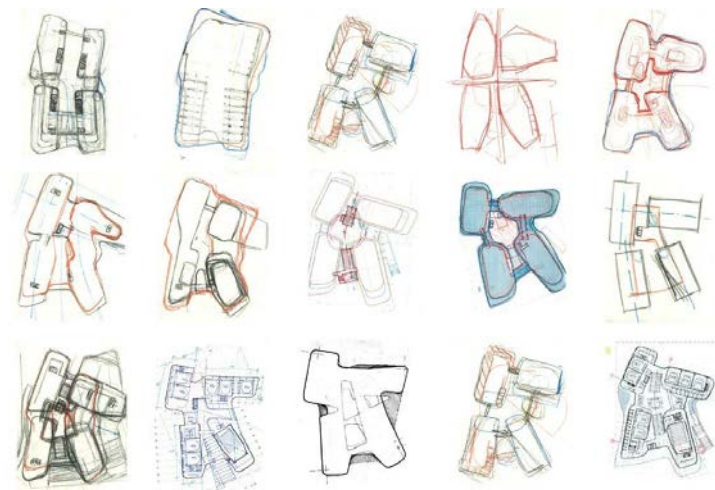
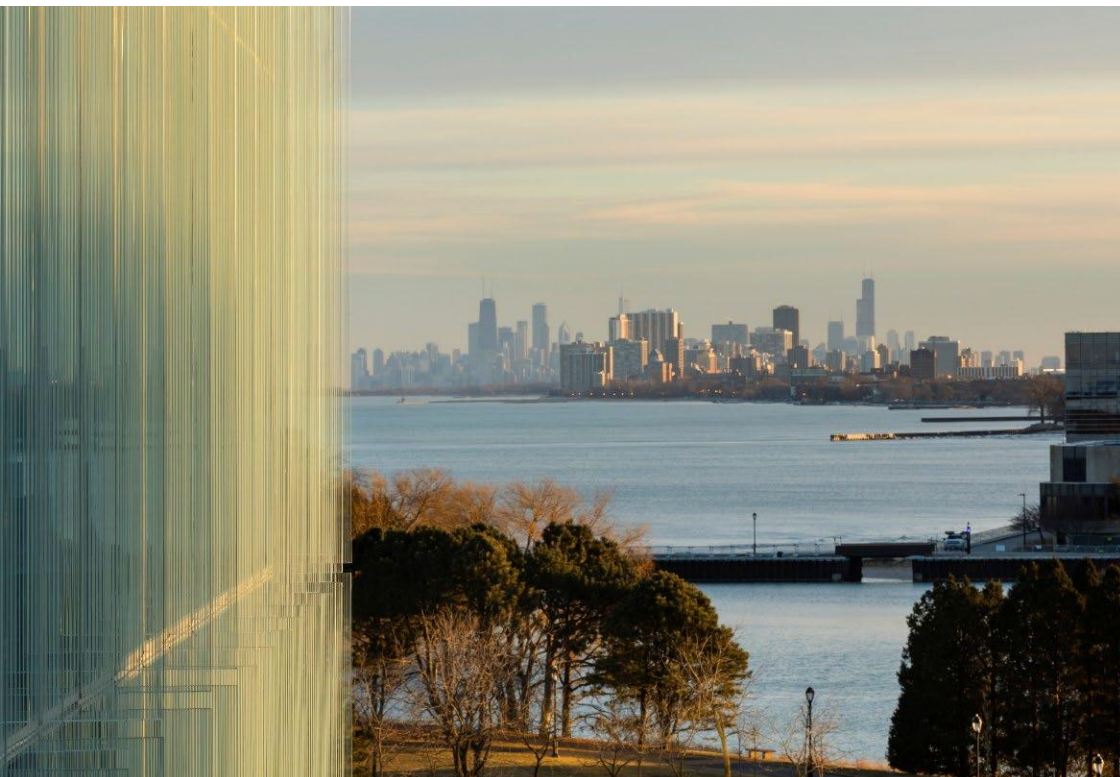
Power Construction

Completion Date:

March 29, 2017



View of west entrance to the
Kellogg Global Hub

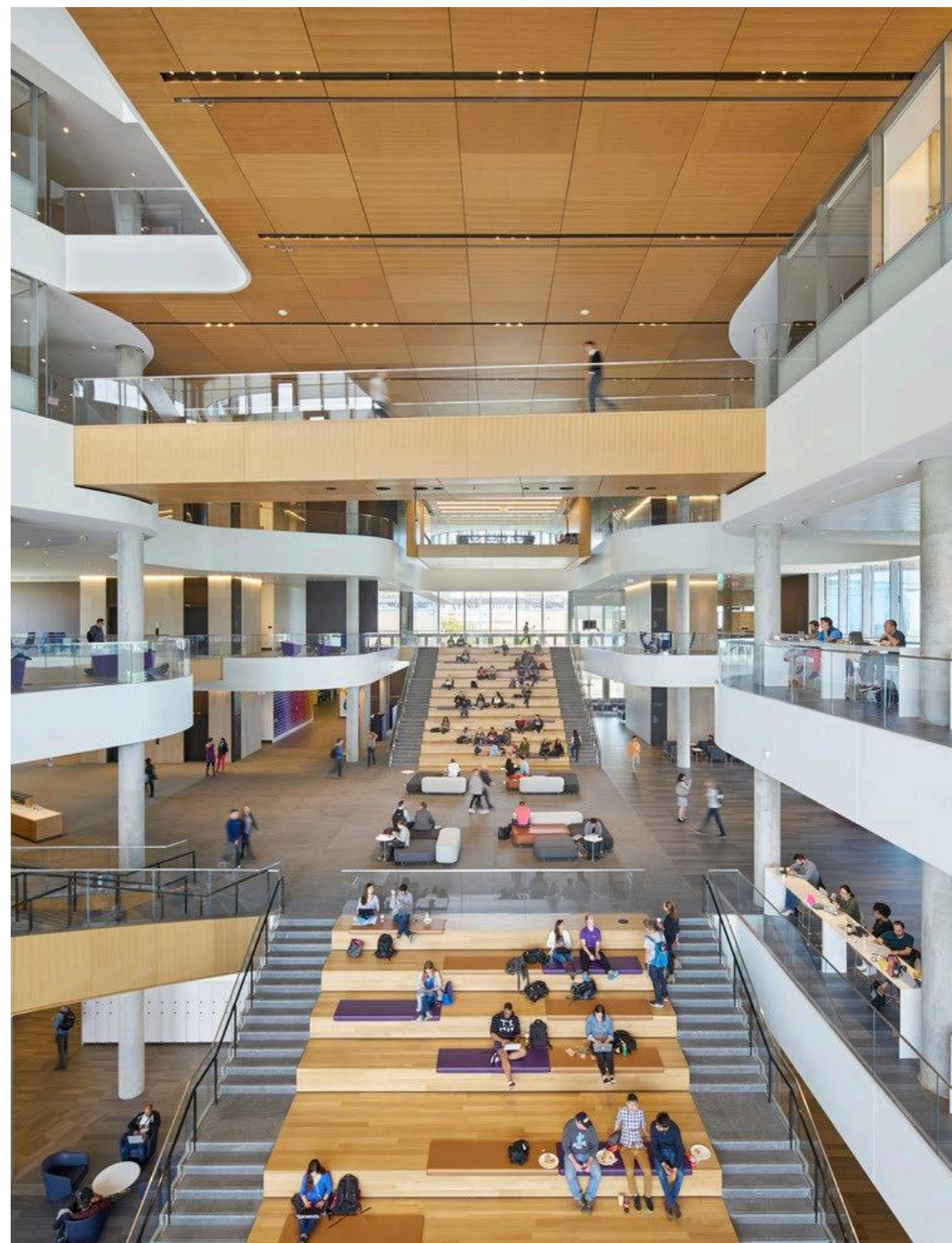


A 360-Degree Response

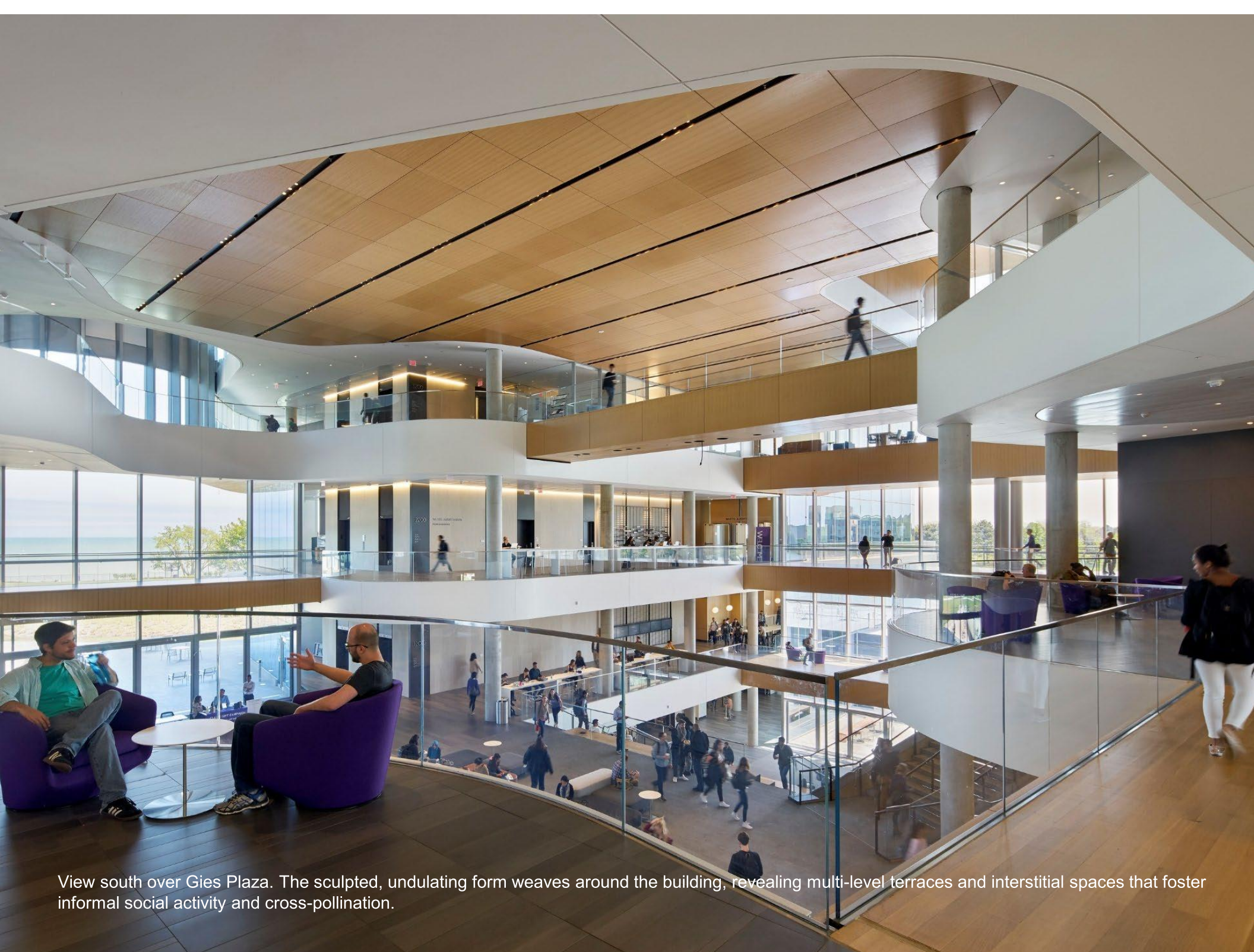
With views on all sides, the design is informed by and connected to Lake Michigan, the Chicago skyline, and the campus. The siting responds to the arc of an existing path and the edge of the east playing field.



Gies Plaza is a three-story atrium that serves as a welcoming, gathering, and learning space for the Kellogg community.



The five-story, 415,000-square-foot learning hub provides ample spaces for learning and collaboration including seminar and conference rooms, reconfigurable classrooms, lounges, a marketplace, and a coffee shop.



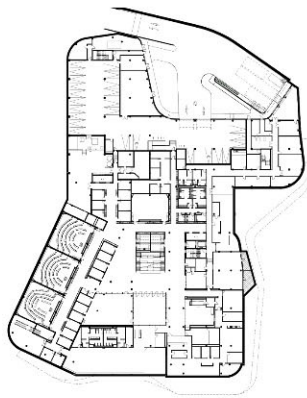
View south over Gies Plaza. The sculpted, undulating form weaves around the building, revealing multi-level terraces and interstitial spaces that foster informal social activity and cross-pollination.



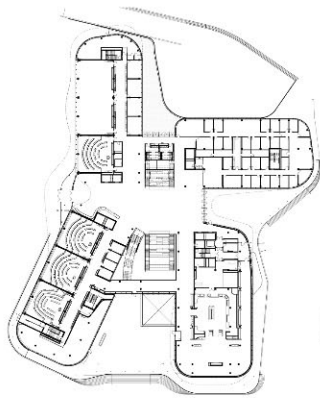
Intimate spaces were designed to bring faculty and PhD students together from various disciplines.



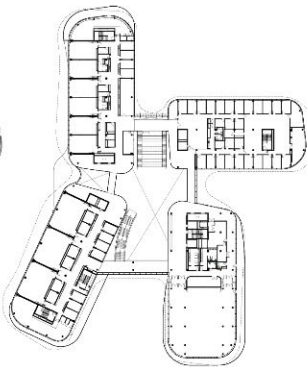
The architecture responds to the clear mandate to create a destination in which students, faculty, and world leaders can gather for the purpose of repositioning business as a force for good. It reinforces this school's belief in the power of continued investment in design excellence in our digital age.



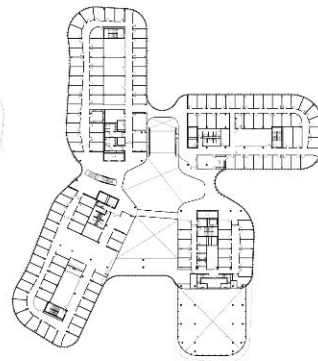
Lower Level Plan
Academic/Student Services



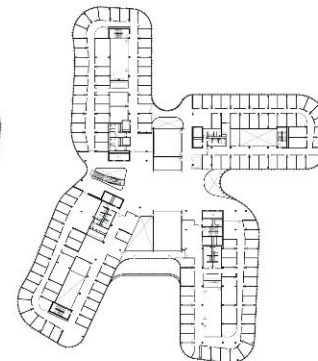
Level 1 Plan
Academic/Student Services



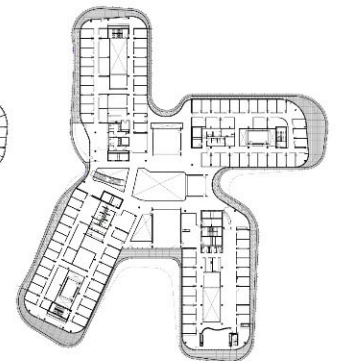
Level 2 Plan
Academic/Student Services



Level 3 Plan
Faculty Offices



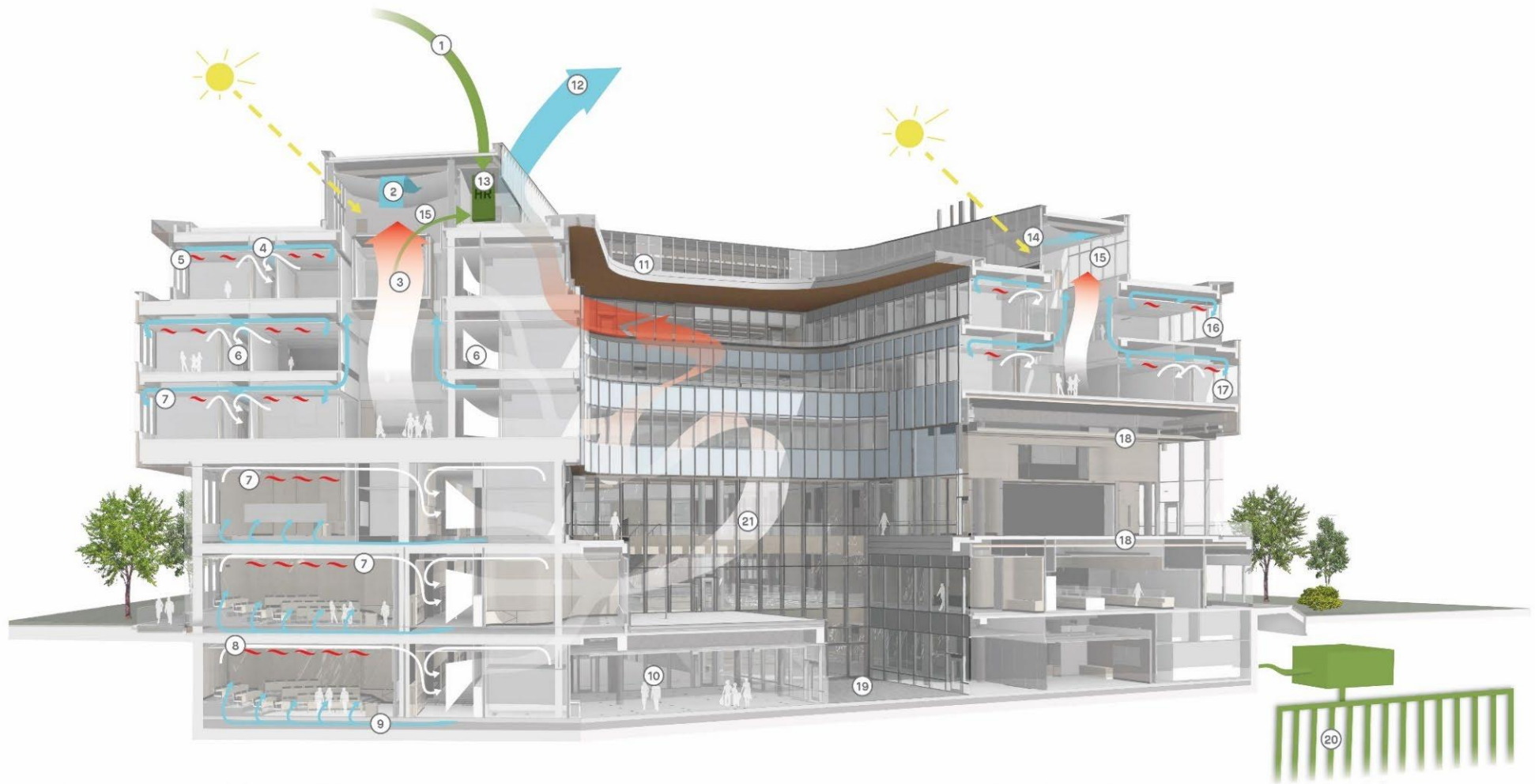
Level 4 Plan
Faculty Offices



Level 5 Plan
Faculty Offices

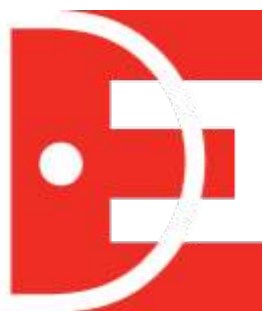


The spatial order is simultaneously fluid and rational. Four five-story loft buildings are sited at the intersection of a north-south and east-west cross axes.



The LEED Platinum building embodies the university's commitment to clean energy, sustainable design, and community responsibility. The integrated systems concept shaped the building to reduce energy consumption. The plan is organized to maximize natural daylight through a series of atria, light wells, and views on all sides. The energy reduction (46% savings) strategy is synonymous with the creation of a healthy learning and research environment filled with 100% fresh air. Thermal

comfort is enhanced through automated shading systems, a geothermal exchange, and high-performance triple glazed curtain-wall to minimize heat loss. Occupants are empowered to control their environment and motivated through smart behavior to participate in the cumulative reductions of the carbon footprint. The curvilinear form is modelled to define a series of generous outdoor terraces – harbors – that extend outdoor use and activity through shoulder seasons.



DesignEvanston

2023 Awards

Description

The Robert Crown Community Center offers a complex hybrid of recreational and educational programming to the surrounding community, mediating Crown Park's connection to Evanston's neighborhoods and existing community infrastructure. The building, a community center with a public library, preschool, community rooms, gymnasium and two ice rinks, hugs the park's west boundary, buffering it from busy Dodge Avenue and forming a richly landscaped parkland.

The light colored masonry community center celebrates the active community parkland, hovering above the site in places to marry the interior and exterior programming.

Project Name:

Robert Crown Community Center

Category:

**New Construction/
Institutional**

Address:

1801 Main Street

Owner:

City of Evanston

Architect:

**Woodhouse Tinucci Architects,
MJMA Collaborating Architect**

Developer: (If any)

N/A

Contractor:

Bulley and Andrews

Completion Date:

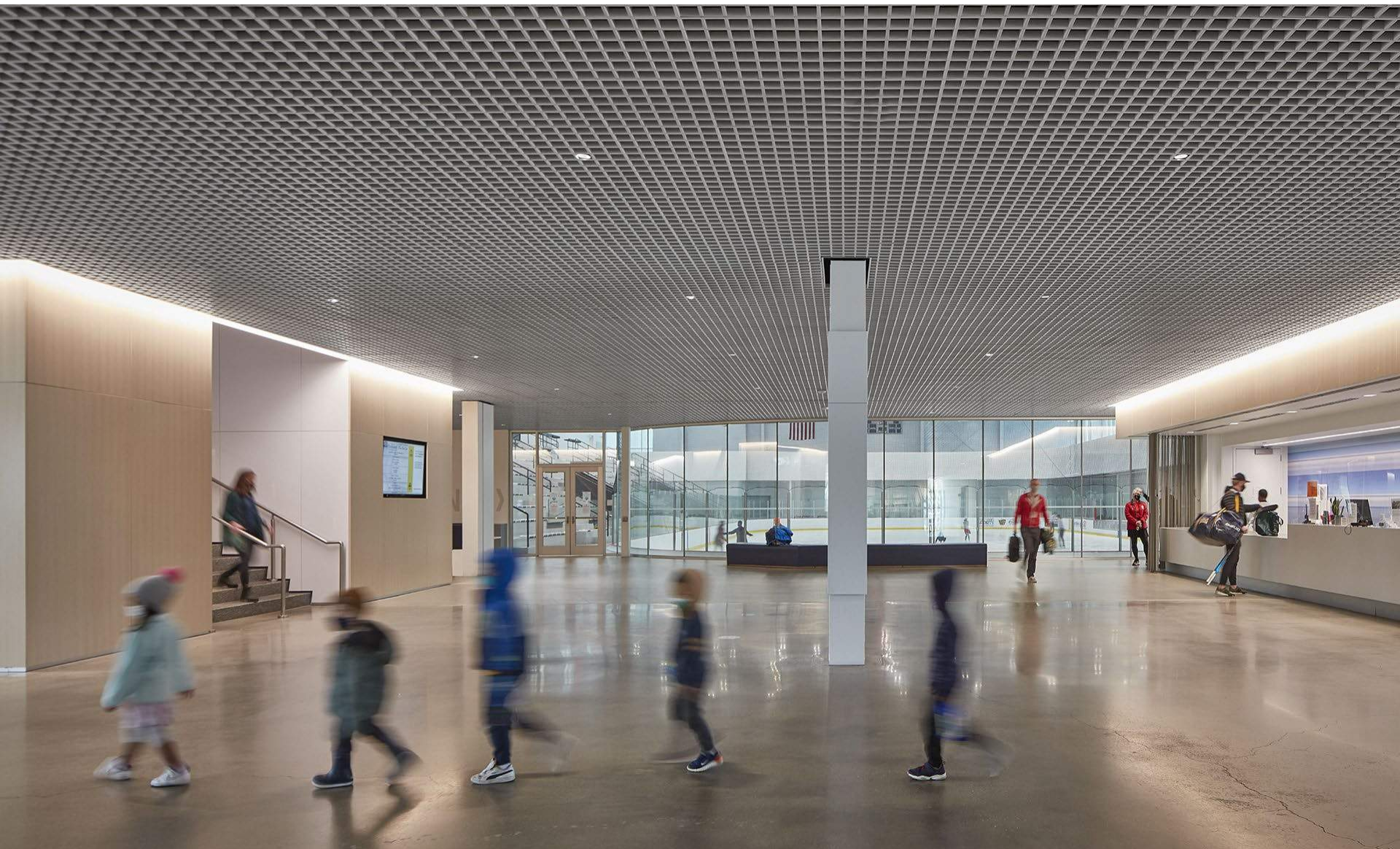
2020



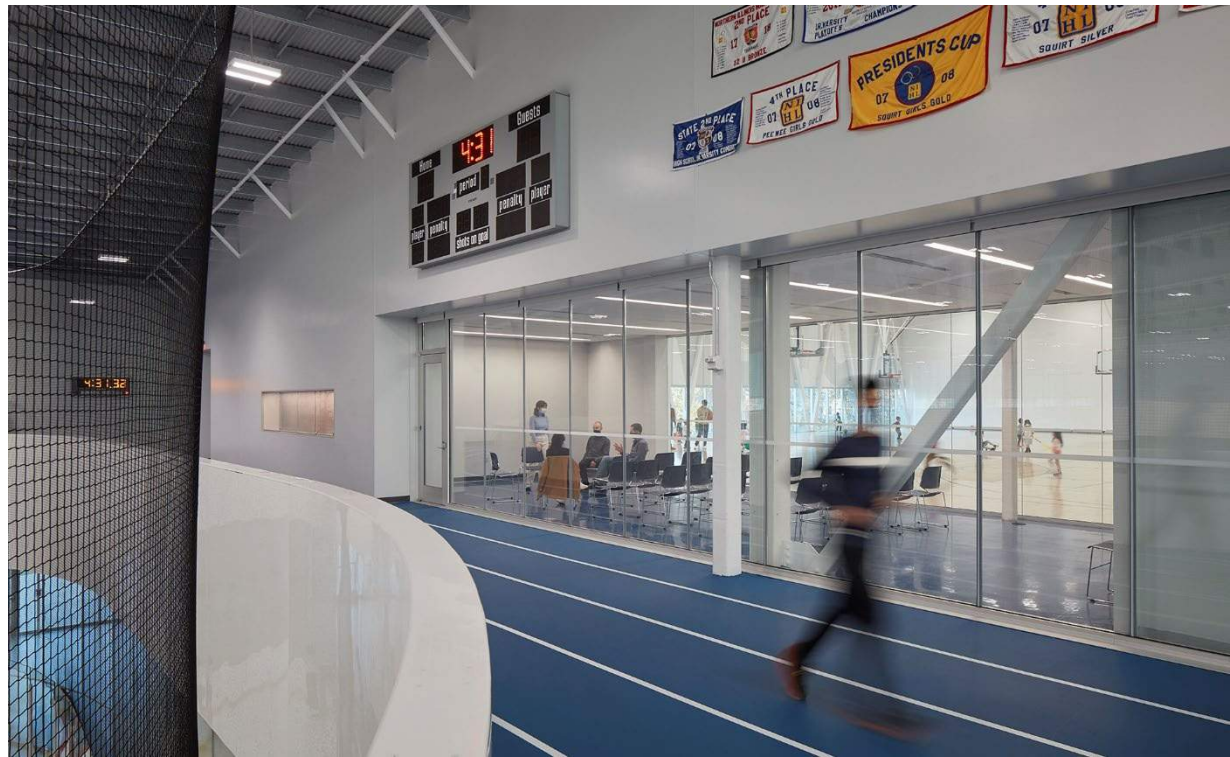
Main covered entry with basketball court above.



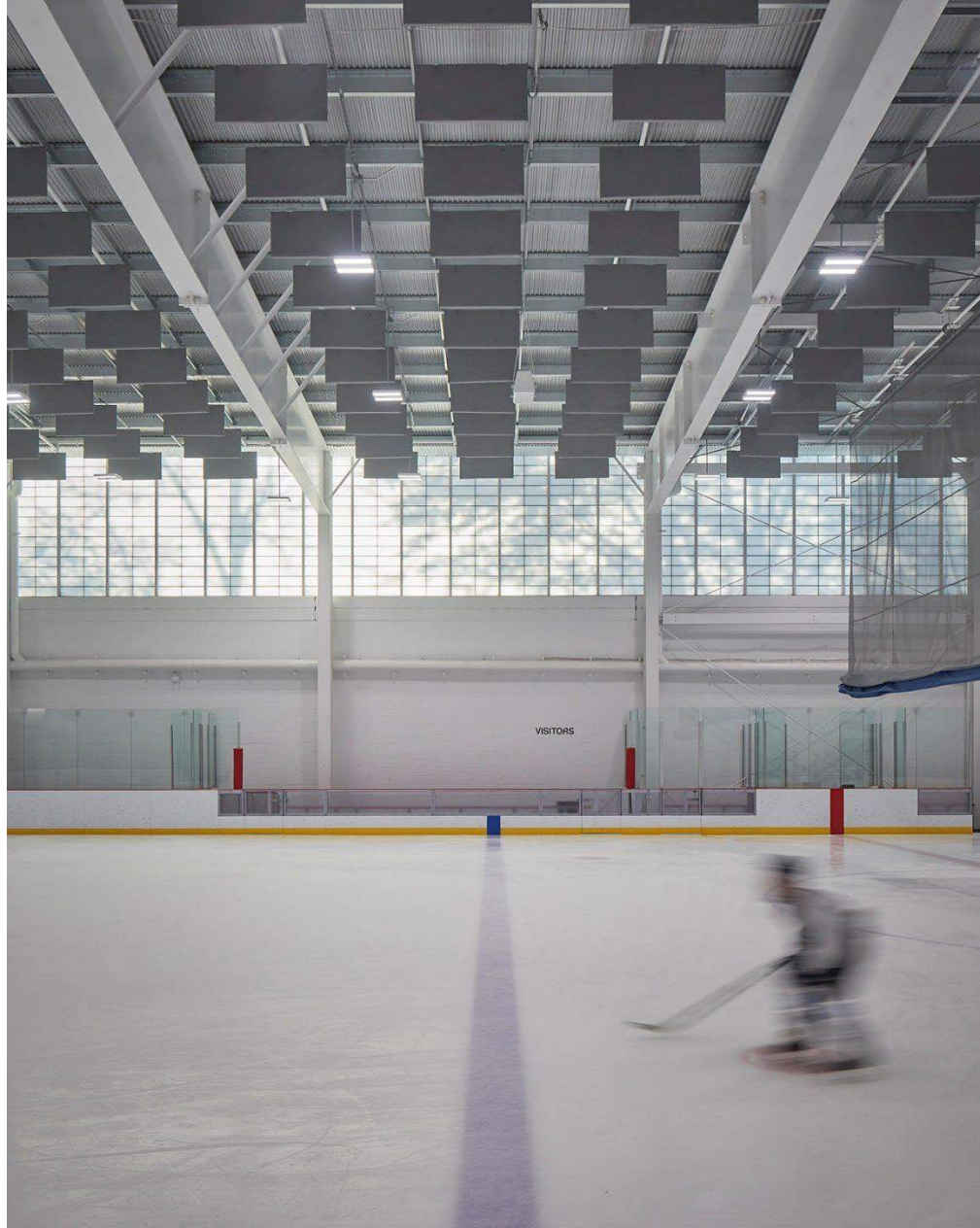
Site plan and axonometric. The Community Center is situated along busy Dodge Ave and is a buffer to the new circulation, playground, and turf fields to the East.



The entry sequence integrates circulation, visual, and program connections to create a “social heart” for the Community Center.



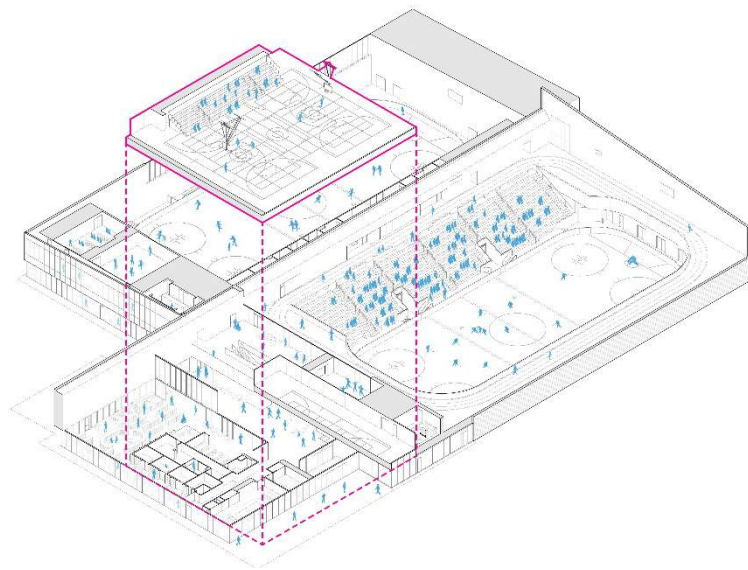
Upper circulation with views to running track, ice rinks, and basketball courts.



The main and secondary ice rinks are day lit from above, served by generous locker spaces between, and encircled by a running track and multipurpose program spaces.



Gathering area off of main entry with access to library and outdoor garden.



Library area with views to the acoustically isolated basketball courts above.

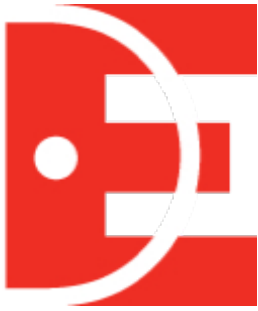




Elevated, acoustically isolated basketball court with views to turf fields.



View to library and outdoor garden, with daycare and community program rooms beyond.



DesignEvanston

2024 Awards

Description:

With its adjacency to Lake Michigan and visible connections to the University's central campus and the Chicago skyline, the goal was to maximize transparency while invigorating the student-athlete experience. The program's move from its remote location reinforces the University's widely recognized academic commitment to its athletes, while also supporting the needs of the campus population and surrounding community.

To maintain a popular lakefront path, the Fieldhouse is raised to the second floor, allowing circulation below a cantilevered corner. Two formal entries provide public access from the north for events, and a secured southern entry from the campus side for athletics.

Project Name:

Ryan Fieldhouse and Walter Athletics Center

Category:

New Construction/Additions

Address:

2333 N Campus Drive

Owner:

Northwestern University

Architect:

Design: Perkins&Will,

Associate: HOK

Landscape: SmithGroup

Contractor:

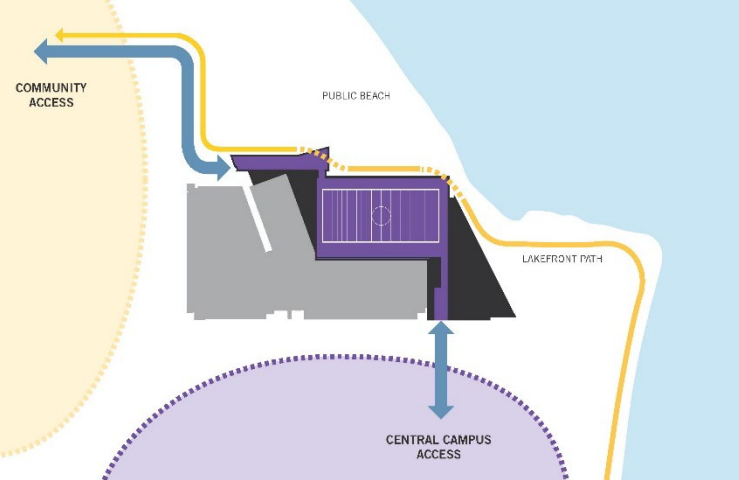
Barton Malow and Walsh Construction JV

Completion Date:

May 2018

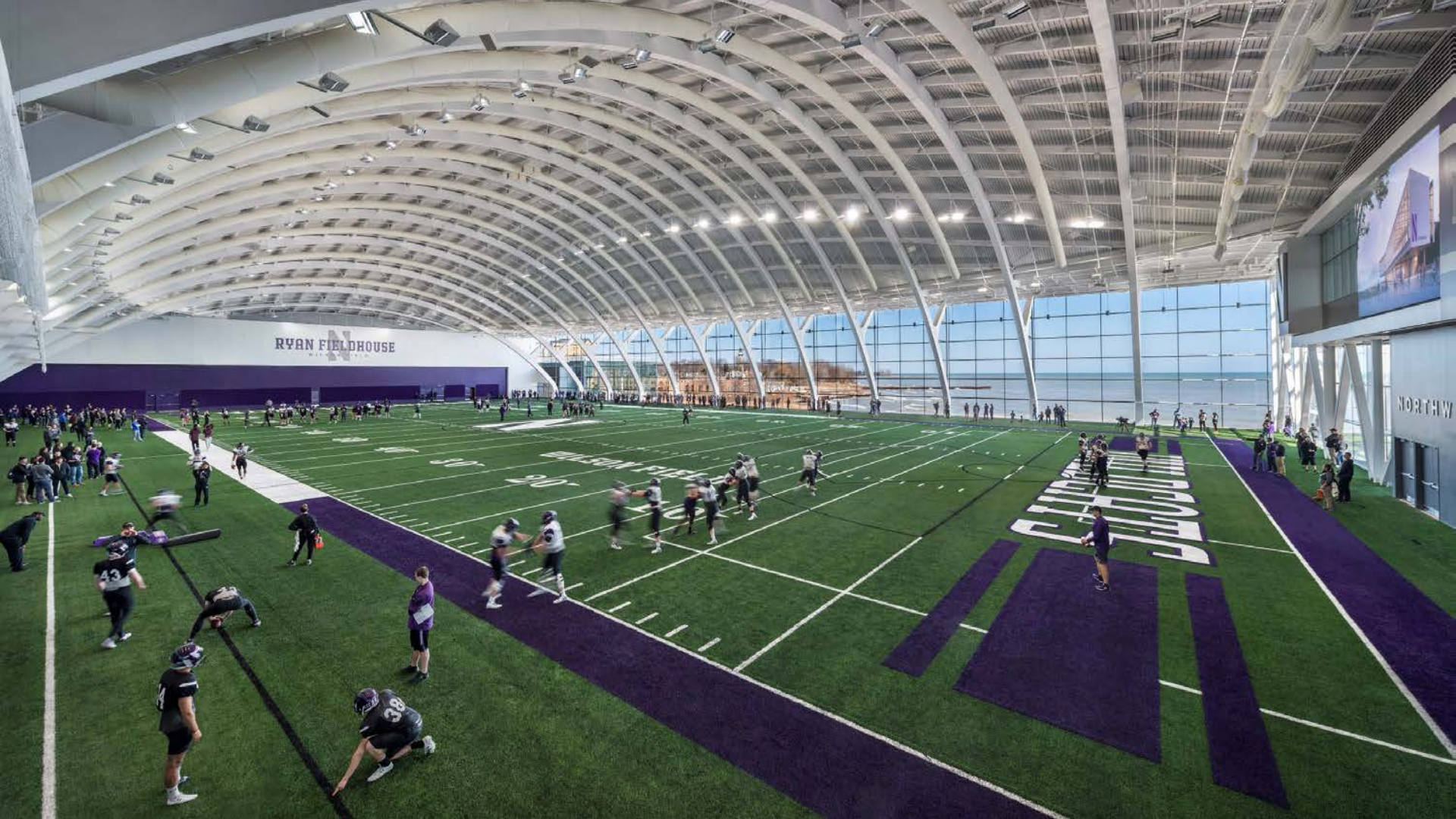


With its adjacency to Lake Michigan and visible connections to both the University's central campus and the Chicago skyline, the goal was to maximize transparency and views while invigorating the student-athlete experience.

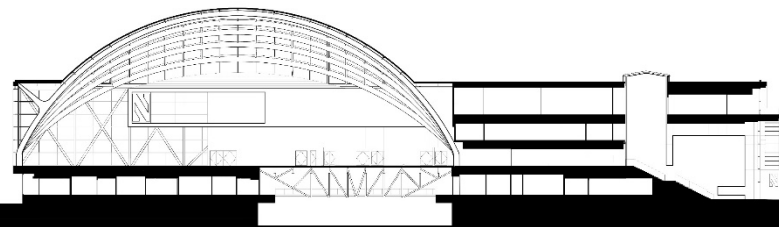


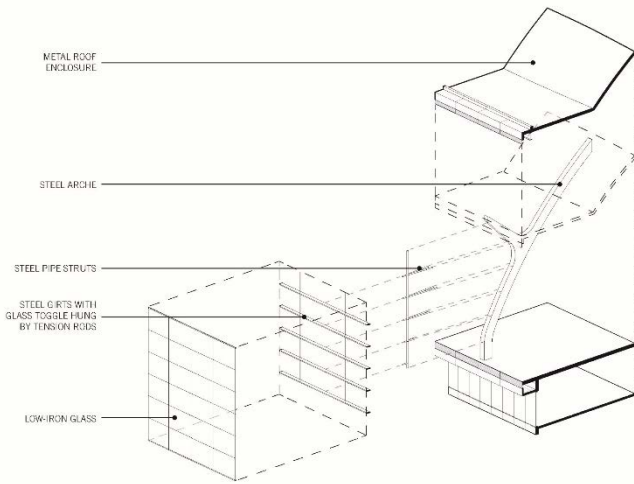
Due to site constraints, the floor of the fieldhouse is raised to the second level to allow a popular lakefront pedestrian path to pass underneath its cantilevered northeast corner – very close to the adjacent Lake Michigan.





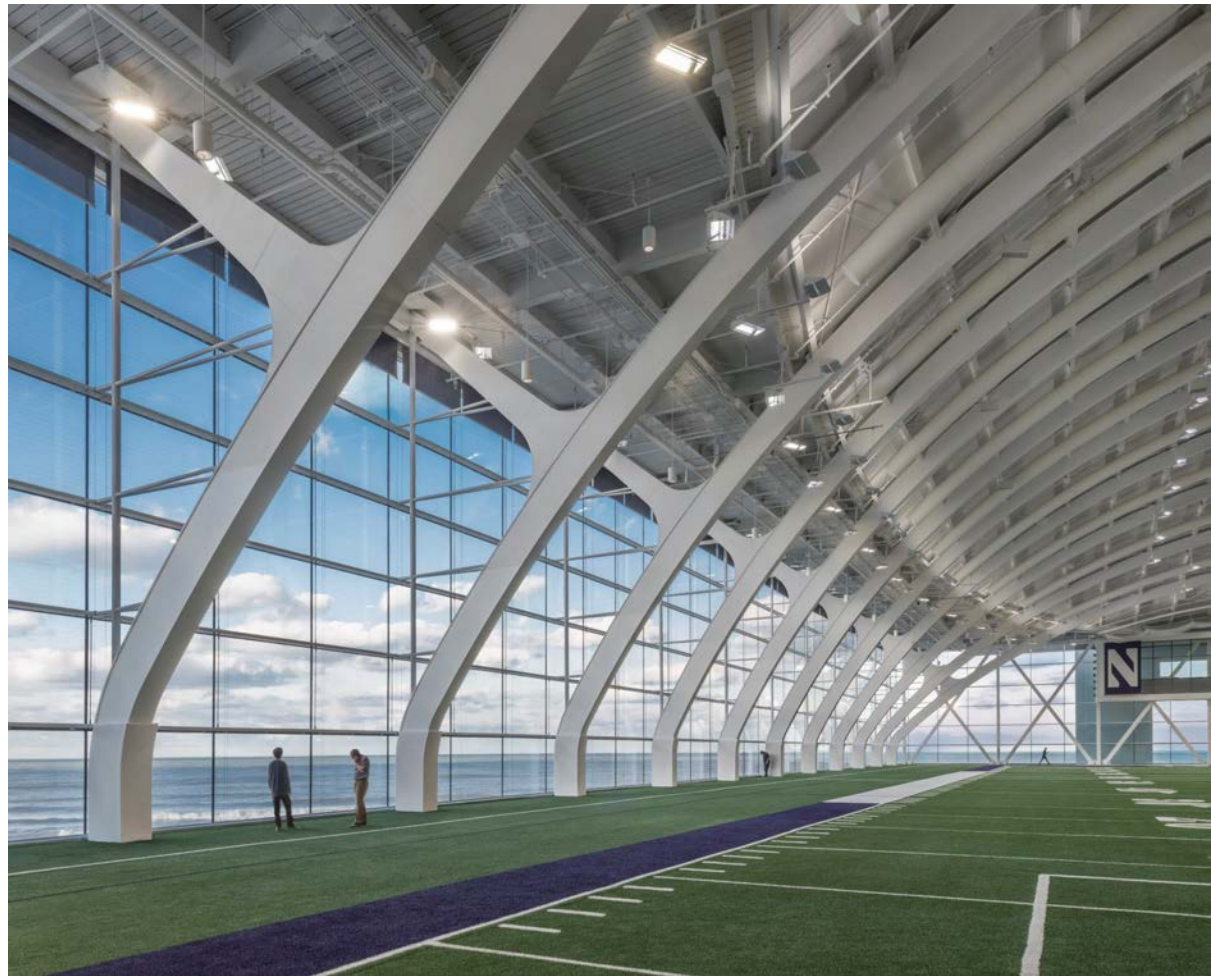
The fieldhouse dome maximizes the interior volume for the critical football clearances, while responding to a local zoning requirements on height – measured to the mean of the peak and the perimeter. 265' steel arches frame the long span roof, with wishbone kickers that spur off to hold an edge beam that supports the perimeter of the roof and from which a tall glass wall hangs.





Tube steel girts are hung by cables at 10' intervals between the arches. The girts take the gravity load of the large low-iron insulated glass units, while steel struts take the wall's lateral forces back to the arched superstructure. The lower 7' glass module is gravity loaded from the floor slab. Additionally, the glass is supported by tabs from the girts which do not breach the exterior face of the insulated glass units.

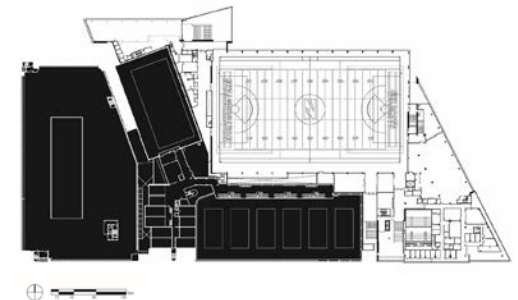
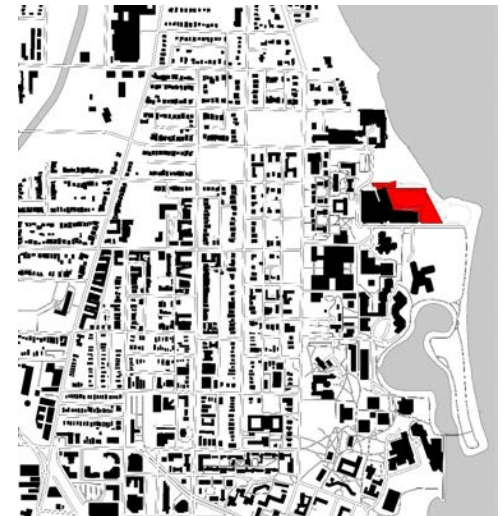
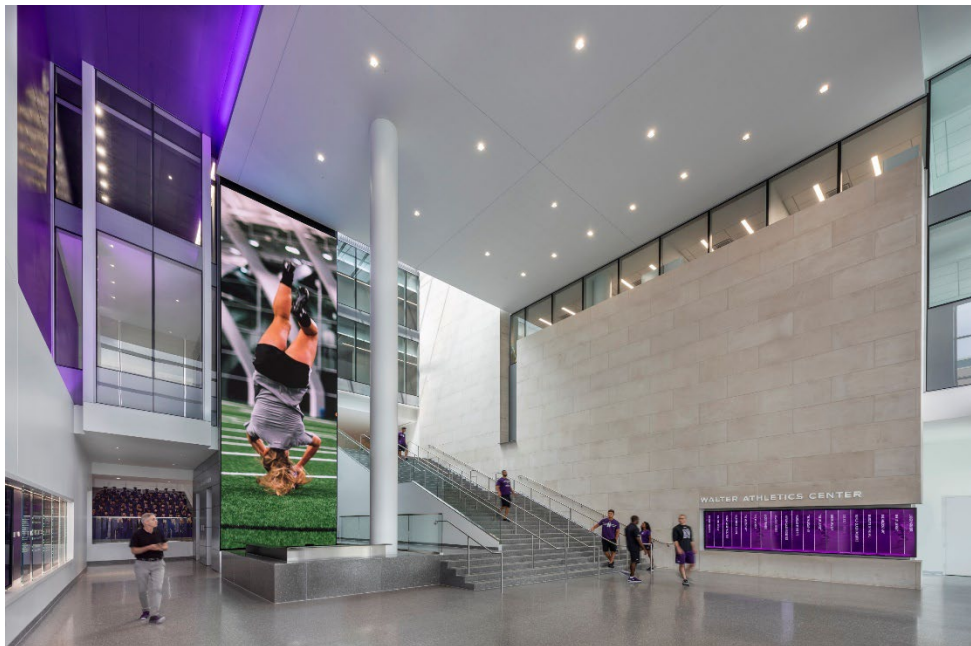
The 400'x42' glass wall is therefore interrupted only by the sealant between the glass units which provides panoramic views of the Lake and the beach and fills the space with indirect natural light from the north.





Two formal entries provide public access from the north for Fieldhouse events, and a secured entry from the southern campus side for athletes, coaches and athletic administrators.

In the main entrance lobby a three-story LED screen cycles through high-impact motion visuals of a student-athlete in action showcasing each of the program's 19 sports.





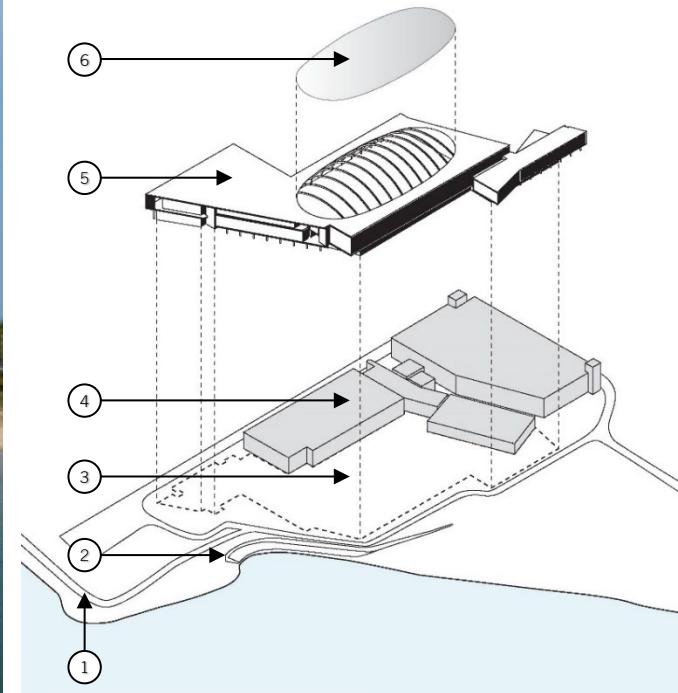
All building functions were organized, both vertically and horizontally, to provide lake exposure to every space that could take advantage of it; from recruiting spaces to administrative offices to the spaces that the student-athletes use most often.

Branding is a key element throughout, telling the storied history of Northwestern athletics.





A 400' long coastal wall protects the building, its foundations and the pathway from the powerful forces and effects of the waves and ice of the adjacent lake. The wall's lakeside profile was calibrated to the specifics of the condition through rigorous testing using scaled models and waves.



- ① LAKEFRONT PATH
- ② COASTAL WALL
- ③ SITE
- ④ EXISTING ATHLETIC CENTER
- ⑤ RYAN/WALTER ATHLETIC FACILITY
- ⑥ DOME SHELL

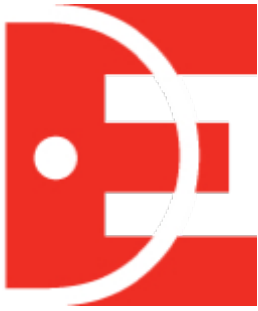
Fabrication of the 109 five-foot precast concrete segments was done locally with robust steel formwork that provided an optimal finish. The ends of the walls taper making it a sculptural amenity which meets a functional need.

The wall embraces the image of the waves of the Lake and the dunes of the adjacent landscape and enlivens the experience along the pathway and the beach.





The Lake isn't just ever present in the facility, it is ever present throughout the campus and is a major asset for the recruitment and retention of Northwestern students. The importance of the Lake to the campus drove the building design to celebrate it at every opportunity.



DesignEvanston

2024 Awards

Description:

Schapiro Hall is located at the northern-most edge of campus, housing a community of 422 students with spectacular views of Lake Michigan.

As the newest addition to the north campus neighborhood, the design pays homage to existing features from historic neighbors including masonry, roof shapes, brick texture, and color.

The LEED-Gold certified facility frames the northern gateway for students to the campus pedestrian spine. The project enhances the neighborhood by both celebrating the existing context and providing community resources such as 24-hr service desk, classrooms, meeting rooms and staff offices for surrounding University housing.

Project Name:

Schapiro Hall

Category:

Architecture, New Construction

Address:

560 Lincoln St.

Owner:

Northwestern University

Architect:

William Rawn Associates, Architects, Inc. and

SNHA (Arch of Record)

Developer: (If any)

N/A

Contractor:

W.E. O'Neil

Completion Date:

September 2017



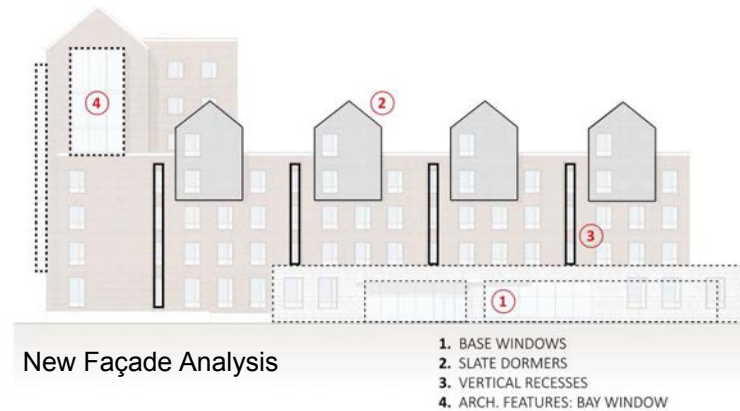
Beacon for North Campus Community



Reflecting a modern architectural context, while open to the path, inviting to all



Existing Fraternity House across the walk



New Façade Analysis

1. BASE WINDOWS
2. SLATE DORMERS
3. VERTICAL RECESSES
4. ARCH. FEATURES: BAY WINDOW



Defining a community edge while inviting community engagement and respite



Double height lounges in the taller building portion connect floor communities and offer views both North and East



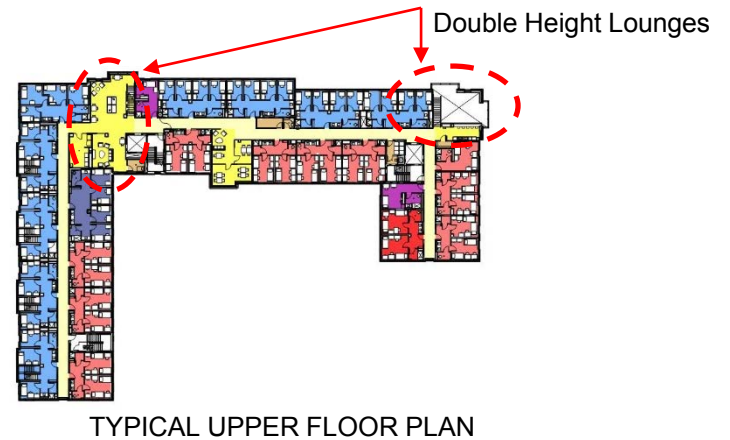
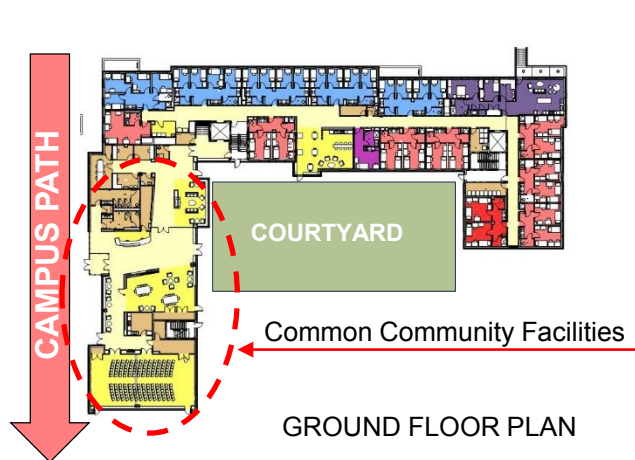
Double height lounges create large bay windows to modulate the facade

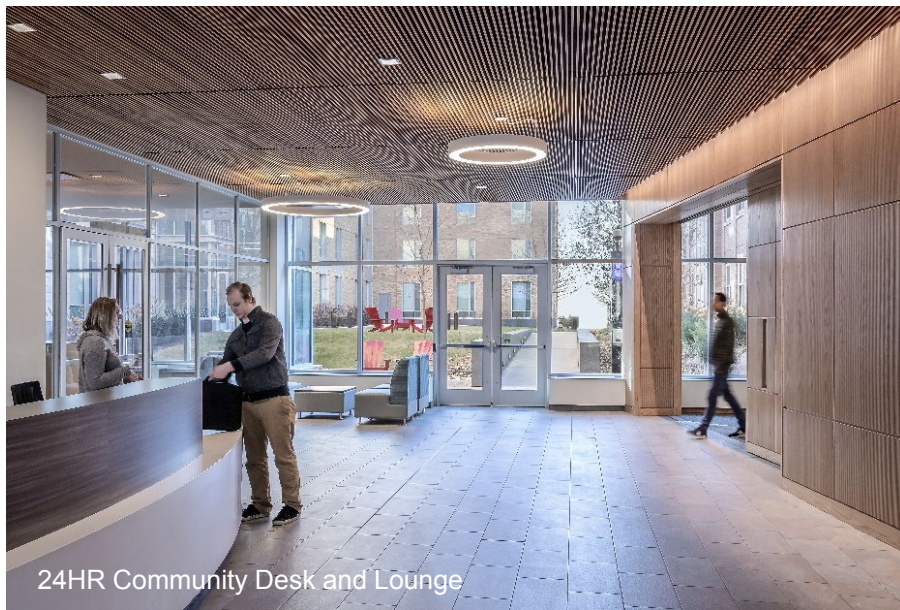


Double height lounges create large bay windows to modulate the facade



Transparency connects indoors and outdoors





Gathering spaces and amenities put activities on display to enhance neighborhood safety and enliven the community



Context, Community and Climate Conscious



DesignEvanston

2024 Awards

Description:

The house is a retreat. It's a tale of two pavilions working as one, offering both transparency and protection, grand vistas and intimacy, heaviness and lightness.

Situated facing Evanston's lakefront, the Greenwood Residence directly responds to its primary neighbor—Lake Michigan. The house is formed as two distinct horizontal layers—solid below, transparent above—in response to the beachy terrain and expansive views.

These two layers flip the conventional organization of residential architecture by lofting the public spaces upstairs in the transparent pavilion, while the more private spaces, such as bedrooms, are brought down into the heavy lower level.

Project Name:

Greenwood Residence

Category:

**New Construction/Single
Family Residential**

Address:

100 Greenwood St

Owner:

Private

Architect:

Woodhouse Tinucci Architects

Developer: (If any)

N/A

Contractor:

WoodTin Build

Completion Date:

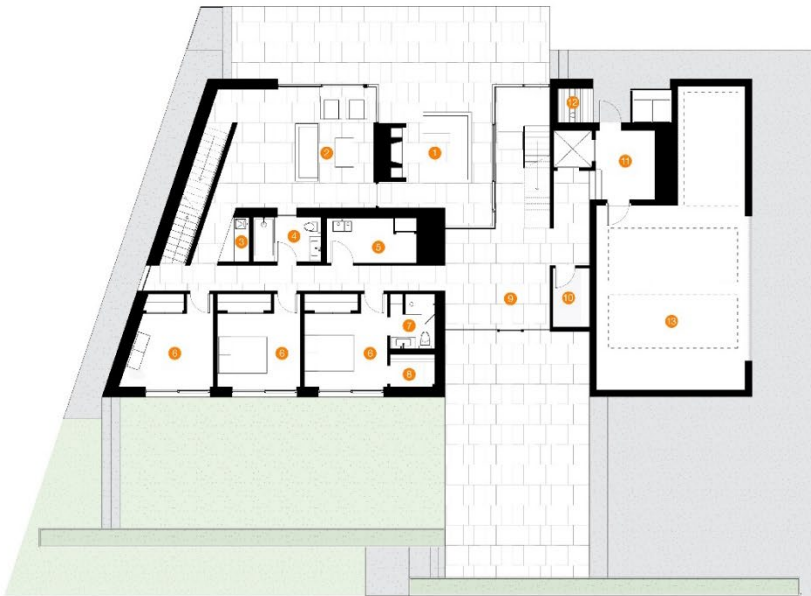
2020



View from rear yard, showing the view through the house to the lake, and the materially heavier lower floor and lighter upper floor.



SITE PLAN



- | | | |
|-------------------|-----------------|-------------------|
| 1 Covered Terrace | 6 Bedroom | 11 Mud Room |
| 2 Rec Room | 7 Guest Bedroom | 12 Outdoor Shower |
| 3 Bar | 8 Guest Closet | 13 Garage |
| 4 Bathroom | 9 Entry Hall | |
| 5 Laundry Room | 10 Coat Closet | |

GROUND FLOOR PLAN



- | | |
|----------------|---------------------|
| 14 Dining Room | 19 East Deck |
| 15 Kitchen | 20 Primary Bedroom |
| 16 Powder Room | 21 Primary Closet |
| 17 Office | 22 Primary Bathroom |
| 18 Living Room | 23 West Deck |

UPPER PLAN

The house takes its form from its unique site along Lake Michigan. The lower floors are more opaque toward the lake to shield the occupants from the proximity of the public beach and path, while the upper floors are more open and take advantage of the views to the lake.



Lower floor, main entry and hall. The exterior materials of the bluestone floor and the hand-stained brick from from interior to exterior, expanding the experience of the house out to its surroundings.



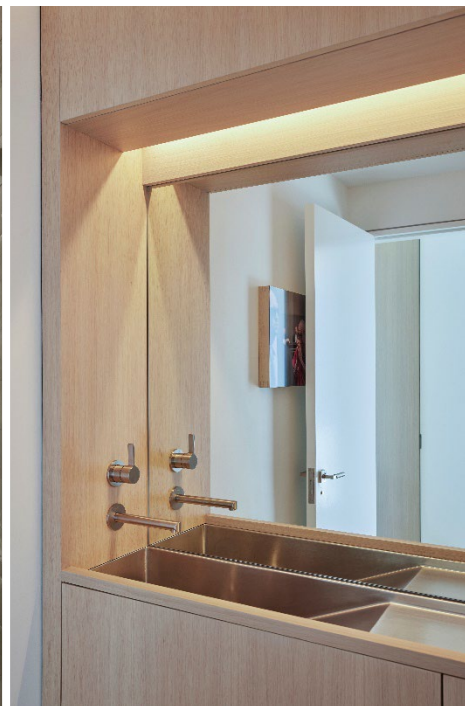
Stairs to upper living spaces, and dining room with seamless indoor/outdoor transition from interior to roof deck.



Upper floor living room and roof deck with views to Lake Michigan.



Upper floor, with kitchen, dining, and interior/exterior living.



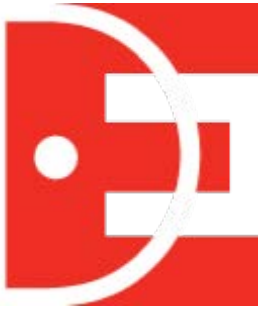
Textures and geometries are varied throughout the project, providing unique spaces and experiences across the home.



Primary bedroom suite.



Rear protected courtyard allows four-season outdoor living.



DesignEvanston 2024 Awards

Description:

This net positive Passive House integrates sustainability with a modern design aesthetic and challenging historical context.

The facade relates to the materiality, proportions, alignments, and massing of the neighboring historical homes.

Sustainable materials, high performing envelope components, all-electric appliances, and heat pump mechanicals minimize the home's carbon.

Architectural geometries like the light shelf work to passively condition and enhance the space.

A solar array, ready for battery backup, higher foundation walls, and hurricane straps ensure this home survives severe weather events.

The first floor allows for single floor living with an office/bedroom, zero threshold shower, and wider circulation.

Project Name:

Evanston's First Passive House

Category:

Single-Family Residential

Address:

1210 Maple Ave.

Owner:

Margaret Stender

Project Team:

Nexthaus Alliance

Architect:

Kipnis Architecture + Planning

Developer:

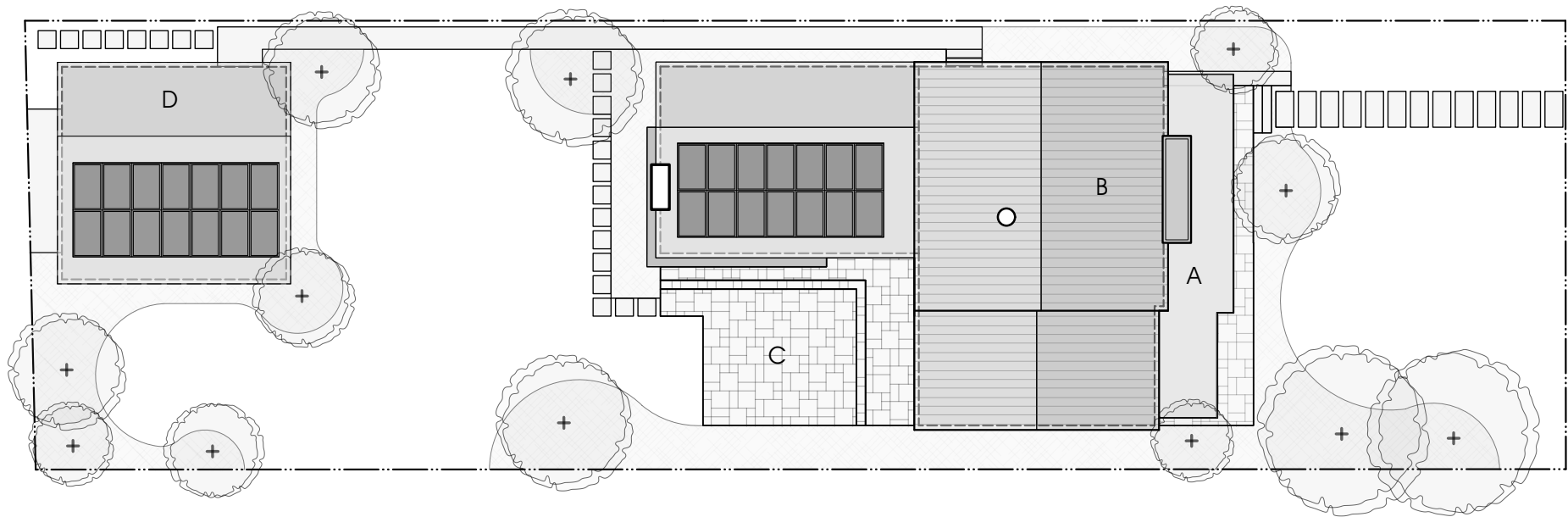
N/A

Contractor:

Berliant Builders, Inc.

Completion Date:

April 22, 2024 (Earth Day!)



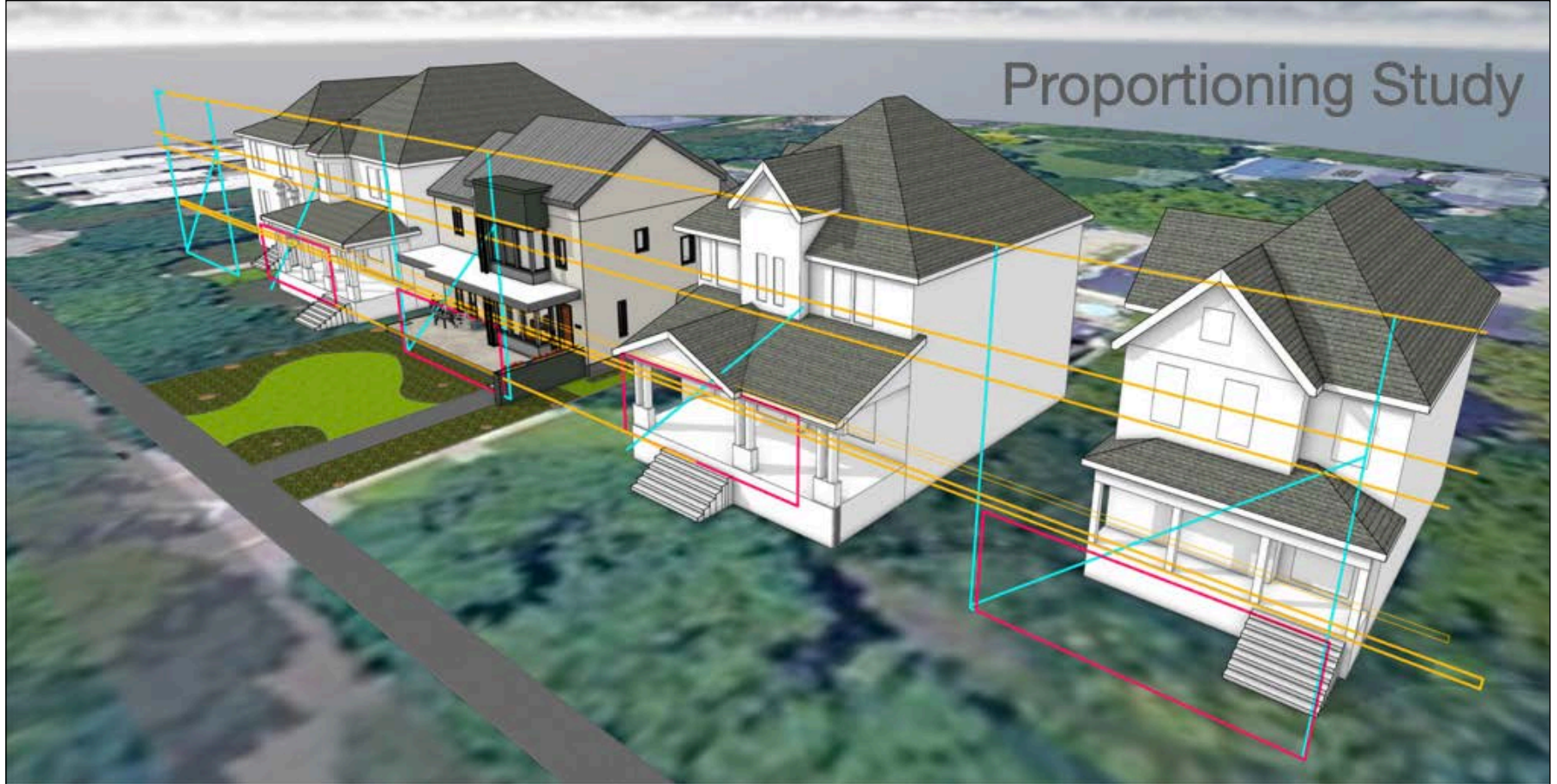
Site Plan

0 15 20 25 FT

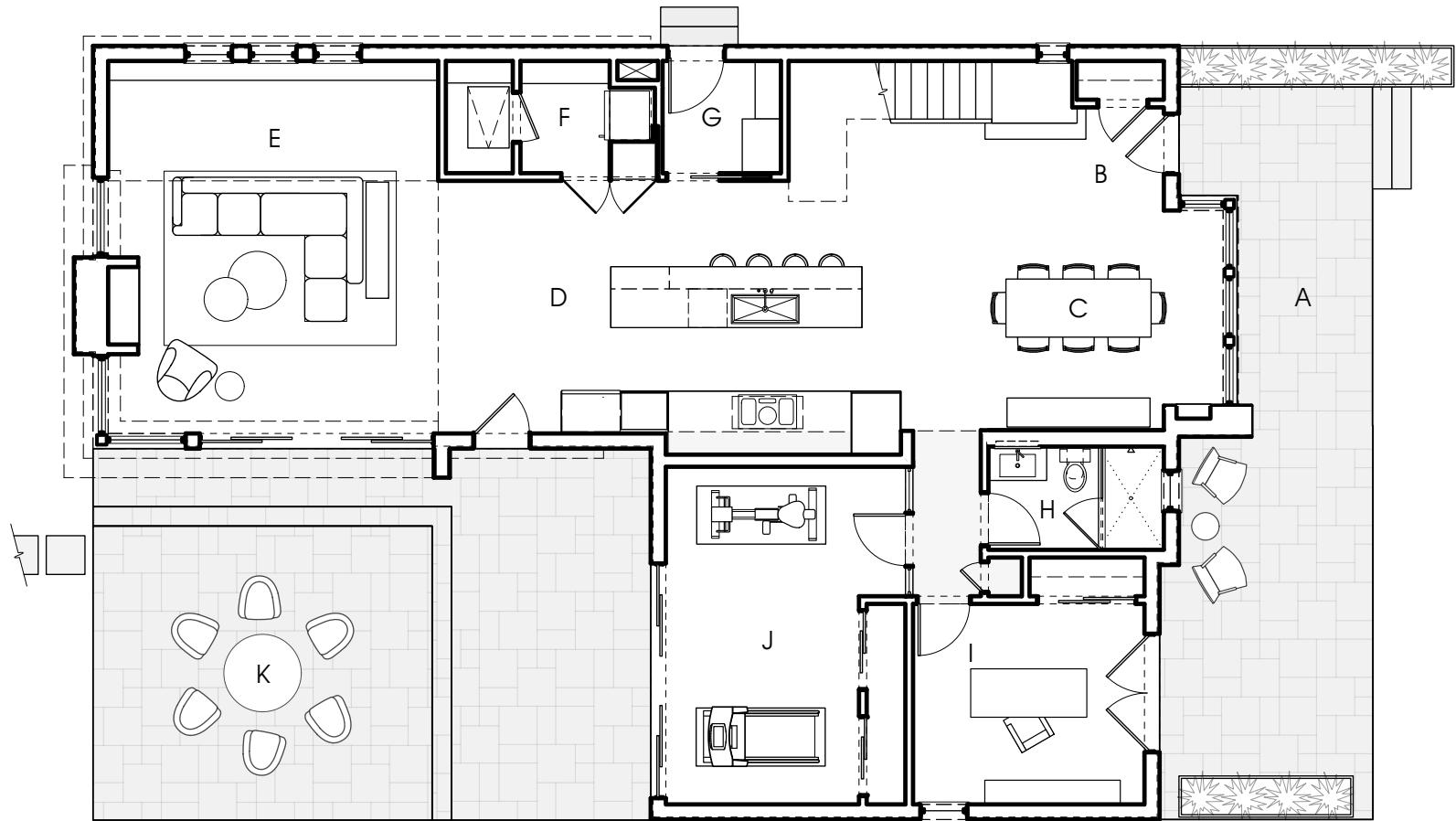
A scale bar with a black and white checkered pattern, marked with 0, 15, 20, and 25 feet.

- A Front Patio
- B Main House
- C Rear Patio
- D Garage

This site was originally a vacant lot in one of Evanston's historic districts. It now features this right-sized home with a 28 panel, 12.2 KW solar array.



Key heights, proportions, and alignments of the adjacent homes were acknowledged to ensure that the new home fits into the historical context of the neighborhood, as required by the Evanston Preservation Commission.



First Floor Plan

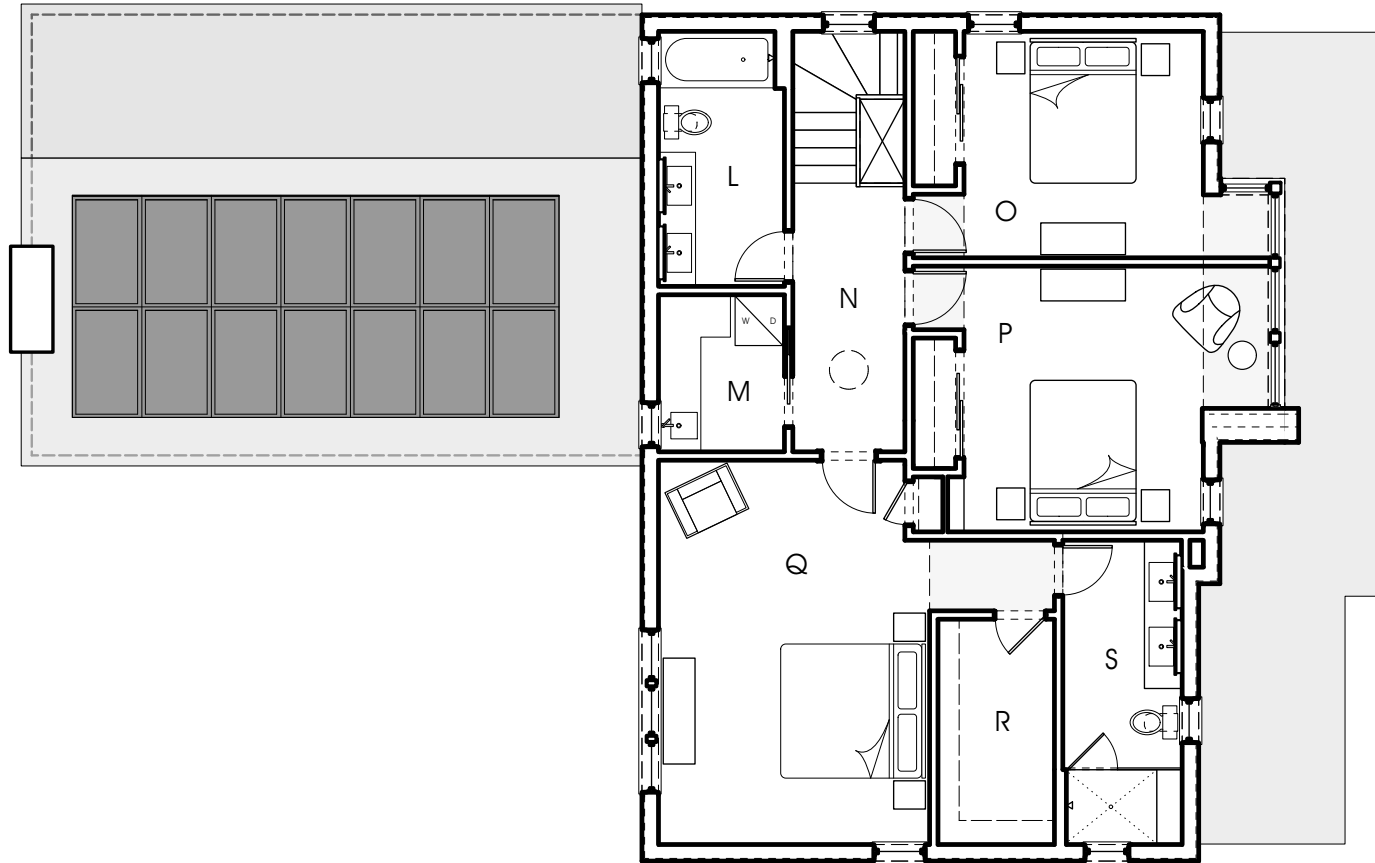
0 5 10 15 FT

- | | |
|-------------|-----------|
| A Porch | G Mudrm |
| B Entry | H Bath |
| C Dining Rm | I Office |
| D Kitchen | J Fitness |
| E Family Rm | K Patio |
| F Pantry | |

This home is designed as a “Forever Home”. The first floor office is designed to convert into a bedroom and is adjacent to an accessible bathroom with a zero threshold shower. The hallways and doors are also wider for wheelchair accessibility. Out front, a ramp can be seamlessly integrated into the landscape, if needed.



This home's modern, cantilevered porch overhang aligns with the heights of the neighbors' porches. Rain chains direct water from this overhang down into flower planters to divert water away from the home. The stucco and siding used on the front facade draw from the neighbors' material palette.



Second Floor Plan

0 5 10 15 FT

L Bath	P Bedrm
M Laundry	Q P. Bedrm
N Hall	R P. Closet
O Bedrm	S P. Bath

Every bedroom is minimally yet comfortably sized to limit the needed heating and cooling. The front bay directly relates to the adjacent homes' bays. The bay is asymmetrically divided to separate the two hall bedrooms.



This staircase is a minimalistic, sculptural element located opposite the kitchen and dining room.



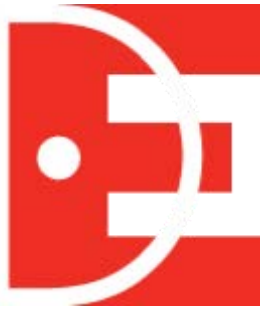
An open first floor plan allows daylight to penetrate deeper into the space and provides an excellent connection to the outdoors.



This is the only large window group in the home due to Passive House's stringent window allowance. Located in the southwest corner, the integrated light shelf reflects natural light onto the large ceiling area, bringing daylight deep into the space while simultaneously limiting direct sunlight and subsequent heat gain in the summer. In the winter, passive solar heat gain is admitted deep into the home, while the geometry of the light shelf helps daylight penetrate even further into the room. The fireplace is a carbon free linear humidifier illuminated with correctly colored LED lights.



The asymmetric, rear roof slope simultaneously affords more space for south-facing solar PV panels as well as providing for a larger ceiling onto which natural light is captured from the light shelf.



DesignEvanston

2024 Awards

Description: Designed by African American architect Walter T. Bailey in 1929, The Mount Moriah Masonic Temple was purchased in 2015 by DMAC Architecture & Interiors. In need of significant rehabilitation, DMAC transformed the 11,400 square-foot building into their studio with airy, column-free spaces and original herringbone parquet flooring. The design maximized natural light by enhancing window openings and creatively repurposing removed bricks for a unique back elevation. The ground floor, once partitioned, now showcases an open floor plan that can be activated for public events and art exhibitions to engage the neighborhood.

Project Name:

**1229 Emerson | Mount
Moriah Masonic Temple**

Category:

Rehabilitation/Renovation

Address:

**1229 Emerson Street,
Evanston, IL**

Owner:

**DMAC Architecture &
Interiors**

Architect:

**DMAC: Dwayne MacEwen,
Dorian Janowicz, Jared
Worster**

Contractor:

Byttow Construction

Completion Date:

June 2019



Existing & Demolition





Ground
Floor
Gallery



Ground Floor Open Space



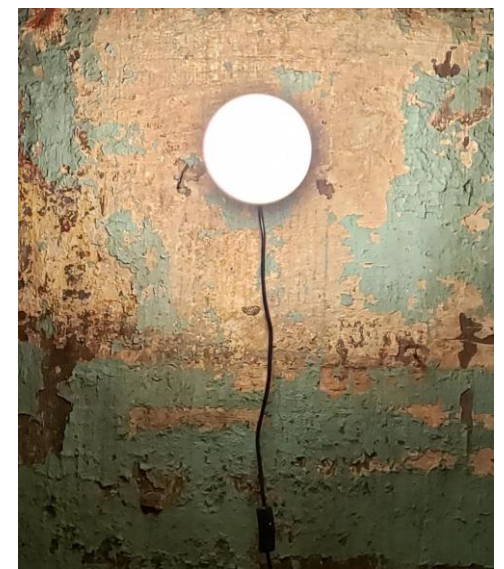
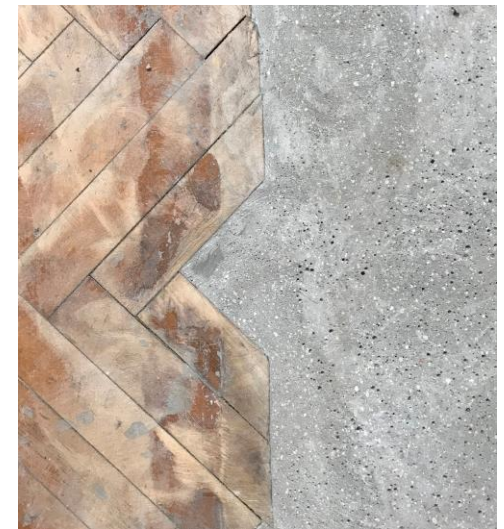
Entry Stair



Stair Details



Conference Room



Old &
New
Details



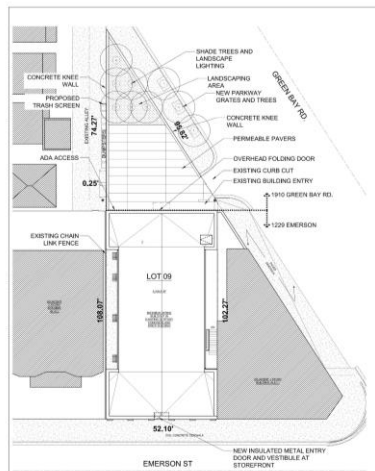
Studio

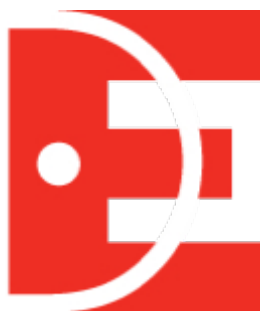




In the Works

Professional photography
forthcoming in 4Q





DesignEvanston

2024 Awards

Description: (Enter here: Not more than 100 words. Include facts, details about the project, inspiration and design intent, goals, vision.)

An 1894 white A-frame farmhouse was renovated to the studs into an updated two flat design, maintaining many historical details by removing and restoring flooring, woodwork, and lumber before reinstalling these details into the building. To provide to access to the second floor and to bring up to code, an exterior addition was added to enclose a staircase. A condemned barn structure in the rear yard was salvaged and re-constructed as an Accessory Dwelling Unit (ADU). The yard was completed in 100% native prairie style landscaping with the goal of creating an updated and sustainable property for the future.

Project Name:

2119 Maple Farm House and Barn to ADU Conversion

Category:

Residential- Multi-family

Address:

2119 Maple Ave.

Owner:

Londinium Properties LLC

David Giljohann

Architect:

Michael Aiello

Developer: (If any)

Contractor:

Mike Ruley's NSR Homebuilders

Completion Date:

Sept 2024



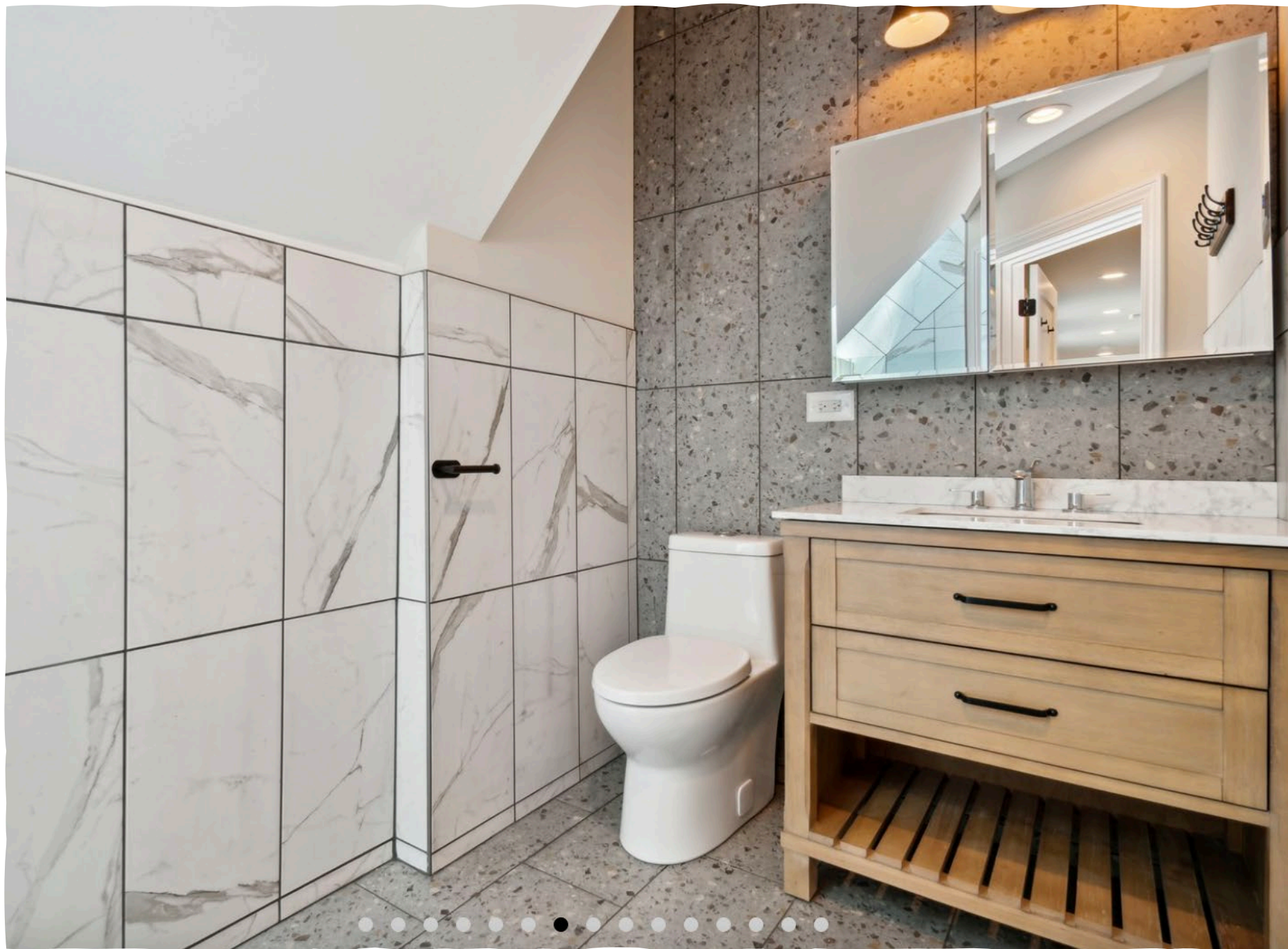
2119 Maple pre-renovation





2119 Maple Post-renovation (exterior)







First floor unit –post-renovation



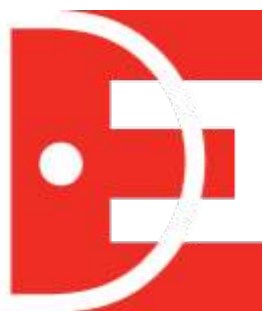
Lower floor unit –post-renovation



2119 Maple: Barn to ADU Conversion (exterior)



2119 Maple: Barn to ADU Conversion (interior)



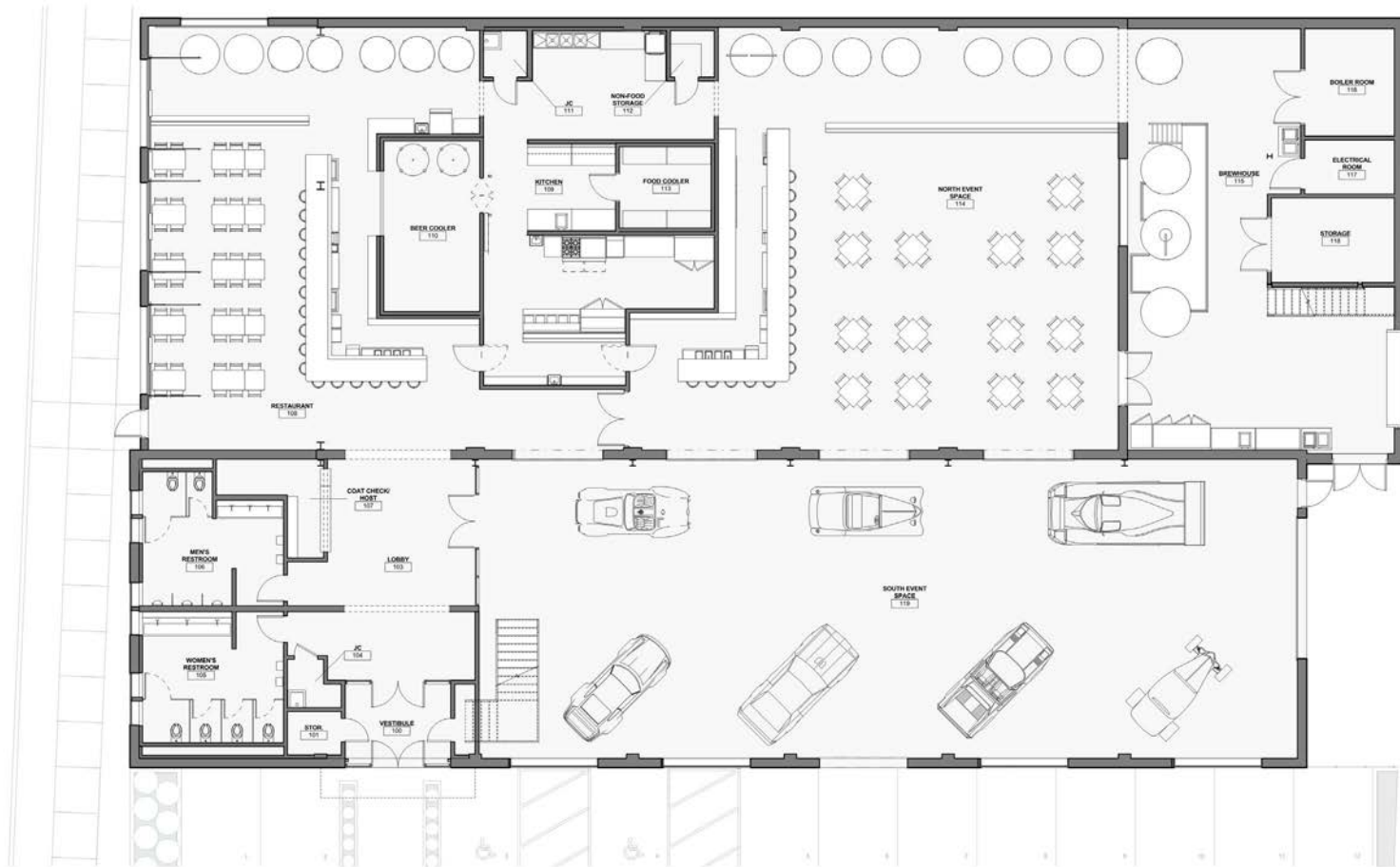
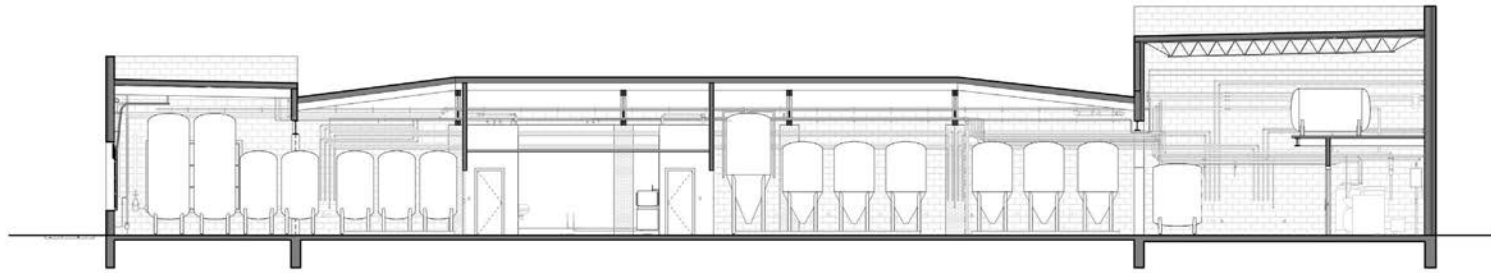
DesignEvanston

2024 Awards

Description: **Double Clutch Brewing Company** is more than just a place to enjoy a pint; it is a destination that epitomizes the convergence of craftsmanship, community, and culture in the heart of Evanston. Located at 2121 Ashland Avenue, this unique establishment reimagines an existing warehouse, transforming it into a multifaceted experience that seamlessly blends a brewery, restaurant, and vintage car showroom under one roof.

The design pays homage to the building's industrial heritage, preserving the main structure and the iconic bow truss, which now serves as the central beer hall—a space that exudes both grandeur and warmth. Surrounding this core, carefully considered additions house the brewhouse and front bar, creating a harmonious flow between the old and the new. The architectural vision extends beyond mere functionality, infusing the space with the spirit of automotive history. The car theme is not an afterthought but an integral element of the interior design, where expansive interior and exterior glass garage doors invite natural light and establish a connection between the interior and exterior.

Project Name:
Double Clutch Brewing Company
Category:
Commercial/Retail
Address:
2121 Ashland Avenue
Owner:
Nine Seas Investments, LLC
Architect:
Scalplus Inc.
Developer: (If any)
Nine Seas Investments, LLC
Contractor:
MANA INC
Completion Date:
Oct 2021



Caption: Main Floor Plan and Section



Caption: Front Bar and Restaurant



Caption: Front Bar Brite Beer Tanks



Caption: Bow Truss Beer Hall, Main Event Space, and Fermentation Vessels



Caption: Car Showroom and Event Space



Caption: Front Bar, Restaurant, and Brite Beer Tanks



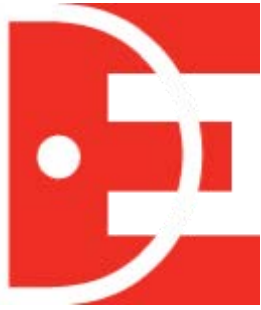
Caption: Front Bar and Restaurant



Caption: Brewhouse



Caption: Renovated Exterior



DesignEvanston

2024 Awards

Description:

Evanston native Julie Fisher and her husband Jason Rosenthal returned to Evanston in 2015 with their two children. They fell in love with an Evanston Tudor-style home built in 1891 and embarked on a major renovation project. They fully embraced the vintage heritage and took painstaking care to preserve and restore the historic bones of the home, while adding modern touches for their active family.

The renovation complied with the Secretary of Interior's Standards for Rehabilitation, and the home was featured on the Evanston History Center's 2023 Mother's Day House Walk.

Project Name:

Fisher/Rosenthal Residence

Category:

Architecture/Rehabilitation

Address:

1127 Forest Avenue

Owner:

**Jason Rosenthal and
Julie Fisher Rosenthal**

Architect:

FC Studio inc.

Developer: (If any)

N/A

Contractor:

Tom Hellyer Contracting

Completion Date:

January 2021



The entryway was fully restored and painted to give the home a light and welcoming feel. The light switches were replaced with turn of the century push-button controls. The lights throughout the home were sourced from estate sales within a few blocks of the home.



The living and family room crown moldings were restored and painted to create a more playful and modern feel. The original mantle and diagonal wood floors were refinished to their original beauty.



This family room previously served as a formal dining room. The back wall was removed to open into the kitchen, exposing the new sliding doors that give access to the rear yard and fill the room with natural light.



The kitchen was fully renovated to eliminate columns and open the space to fulfill the goal of hosting large family gatherings. The marble counters, brass hardware, and herringbone floors give a historic nod to the original home. The tiles, blue cabinets, and custom millwork add a warm and welcoming feel to the eclectic aesthetic.



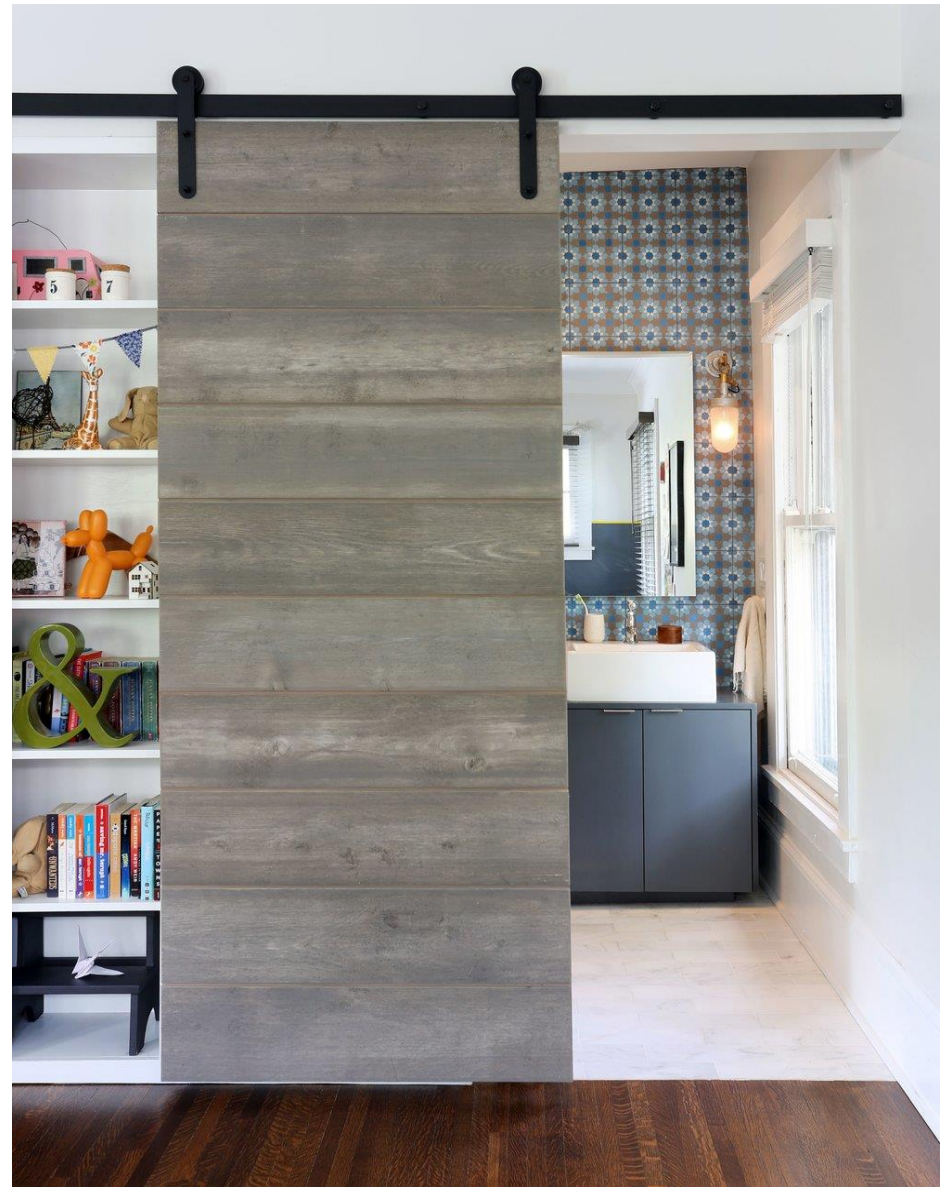
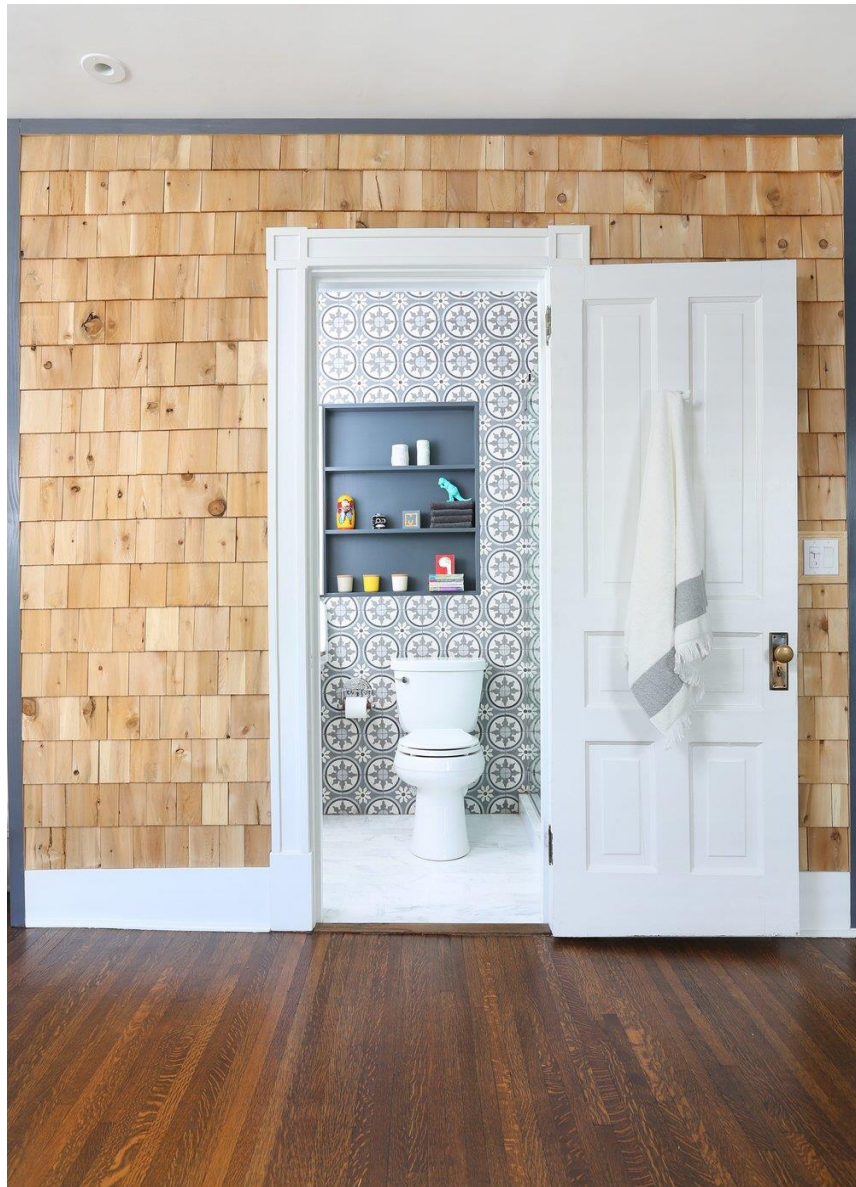
Flanking the kitchen was a fully-restored mudroom that added much needed storage and space for children and pet's belongings. On the other side, a custom dining table and desk were created to fit into the space and allow great views through the new sliding doors added to the rear of the home.



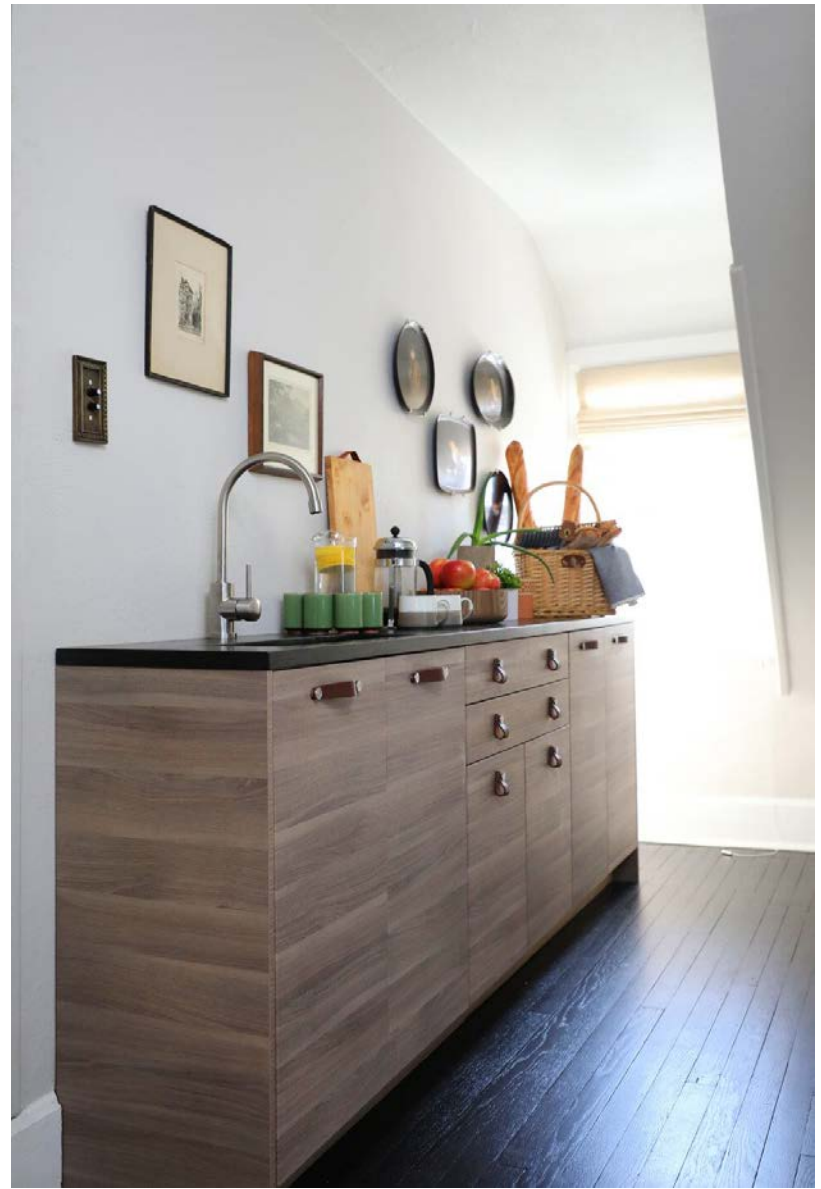
The master bedroom includes restored original flooring, a new herringbone headboard that stretches the full width of the room , and 1930's globes that were made into modern hanging fixtures. The project restored and painted the existing radiators, choosing to keep the exposed original form.



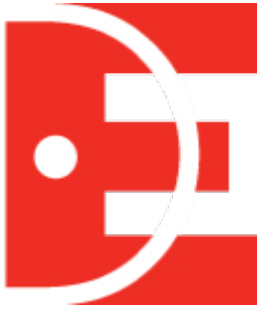
Like the kitchen, all the bathrooms were fully renovated and incorporated vintage materials such as herringbone floors and marble detailing. The custom vanity and shelving, and a mirror that hides a television, give this master bathroom a fresh modern feel.



For the upper floors of the home, keeping as much of the original flooring, moldings, doors, and trim was critical to the renovation. Equally important was ensuring that the kids had interesting and creative spaces that never felt too precious. New bathrooms were added using historic tiles and playful textures and colors.



A bedroom converted to the family office made use of natural light provided by the original bay windows and added built-in custom bookshelves to display collections and photos from family travels. A wet bar was added to enhance the experience for guests and kids off a large open play space on the third level.



DesignEvanston

2024 Awards

Description:

Theo Cabaret Theater created a new home for their award winning ensemble in a renovated storefront building on Howard Street. The 4,060 sq. ft. theater features a flexible 150–200 seat theater with the ability for the moveable stage and seating areas to transform into numerous configurations. Support spaces are located to the rear of the building and provide a large open area centered under the existing bow truss structure. Support tracks for rigging, curtains, and moveable panels are located around this central space maximizing the flexibility of the theater.

The adaptive re-use of this existing building had a façade that needed repair and was replaced with a more efficient thermal and acoustical wall that blends into the existing Howard streetscape in hue and scale. The weathered wood and fiber main façade board announcing the Howard Street Theatre reinforces the character of Theo while offering a low-maintenance and economical solution for long standing durability.

Project Name:

Howard Street Theater: Theo

Category:

Architecture:

Rehabilitation/Renovation

Address:

721 Howard Street

Owner:

City of Evanston

Architect:

Ross Barney Architects

Contractor:

Structures Construction

Completion Date:

2019



The new Theo Ubique Cabaret Theater presents an inviting and improved presence on Howard Street.



The existing bow truss building provided an opportunity to design a flexible theater for staging, light, sound and acoustics. Badly in need of a façade refresh.



Various studies provided the City with options of how the new renovated building interacted with the existing built environment on Howard Street.



Screen



Marquee



Curtain 1



Curtain 2

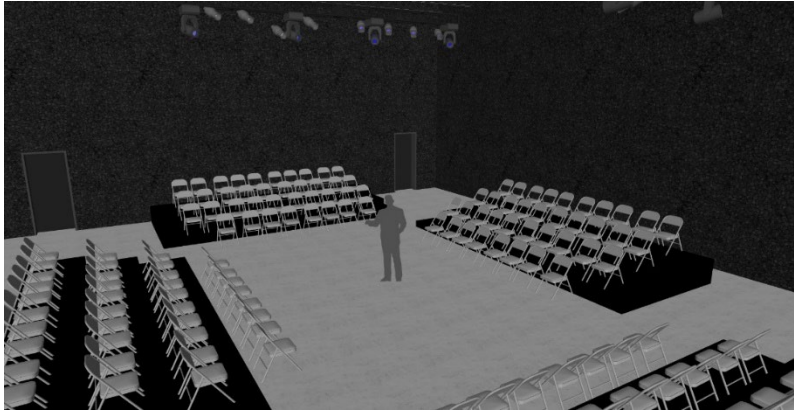
Façade Concept Options



An iconic presence for this small but mighty Theater, the storefront was rebuilt with a more efficient thermal and acoustical wall that blends into the existing Howard streetscape in hue and scale. The weathered wood and fiber board announce Theo as the the Howard Street Theater's resident cabaret troupe.



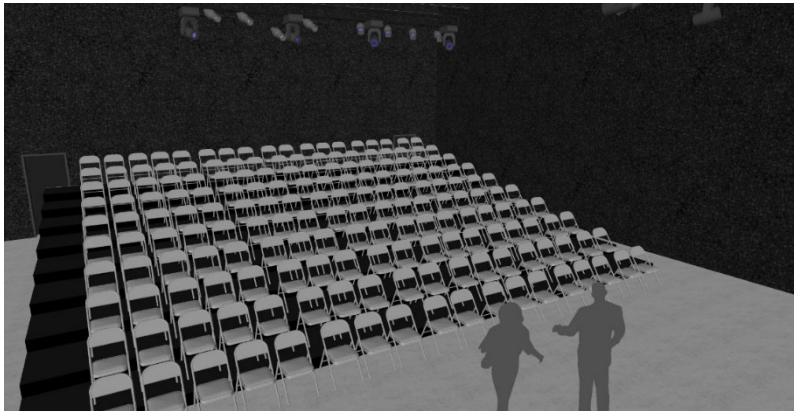
As with any cabaret theater, the bar is an important element. Constructed of reclaimed wood, this feature compliments the exposed wood structure while staying true to the "raw" aesthetic of Theo Ubique's prior space in Rogers Park.



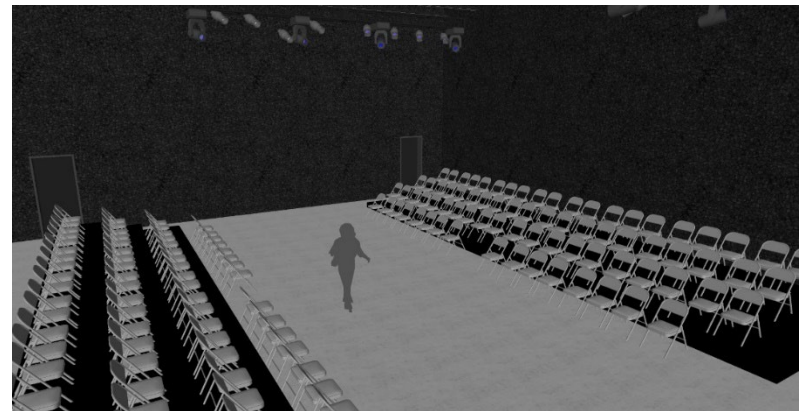
Arena Seating



Thrust Seating



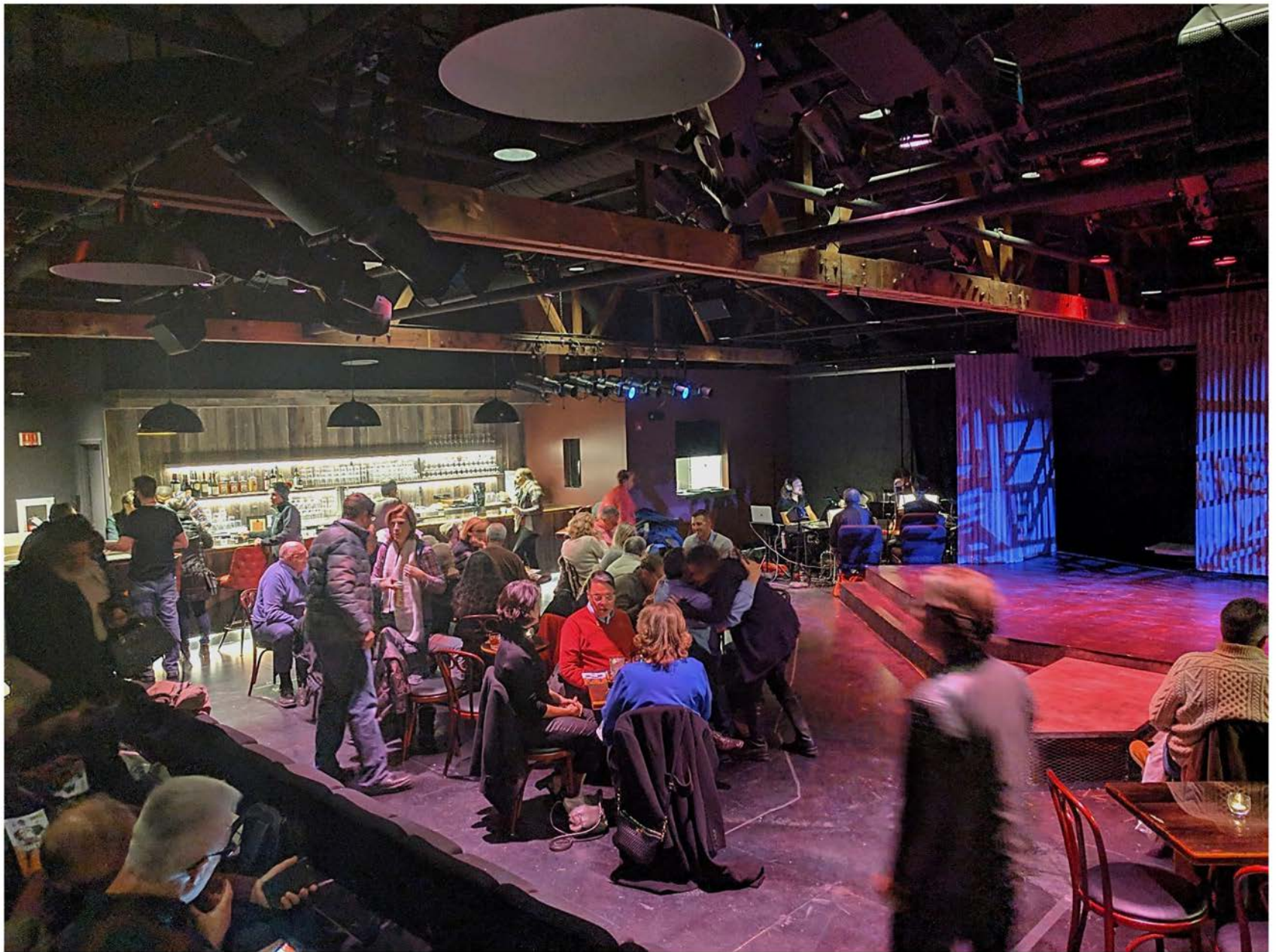
End Stage Seating

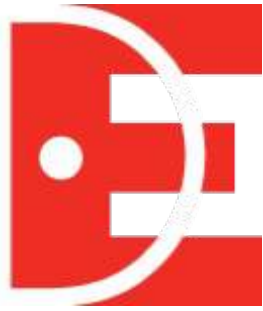


Promenade Seating

The flexible floor plan provides the company with multiple seating configurations for their myriad productions.







DesignEvanston

2024 Awards

Description: The Varsity introduces a collection of 33 architecturally unique residences and two creative flex spaces, next to the historic Bookman's Alley in the heart of downtown Evanston, delivering approximately 8,200 SF of retail oriented to Sherman Avenue and Bookman's Alley. The units—each with their own distinctive character—celebrate the legacy of the Varsity Theater, one of the most spectacular movie palaces in the Chicago region. The Varsity provides a graceful balance between old and new, featuring original exposed brick, tile, and trusses paired with modern finishes. Designed for those looking for location, lifestyle, and everyday inspiration in the details.

Project Name:

The Varsity

Category:

New Construction

Rehabilitation / Renovation

Multi-Family Residential

Sustainable (All-Electric)

Address:

1706-1712 Sherman Avenue

Owner:

The Varsity, LLC

Architect:

GMA Architects, Inc.

SK Design Group

Developer:

BVI, LLC

The Benamy Group

Campbell Coyle

Development Management

Associates (DMA)

Contractor:

ARCO/Murray National

Construction

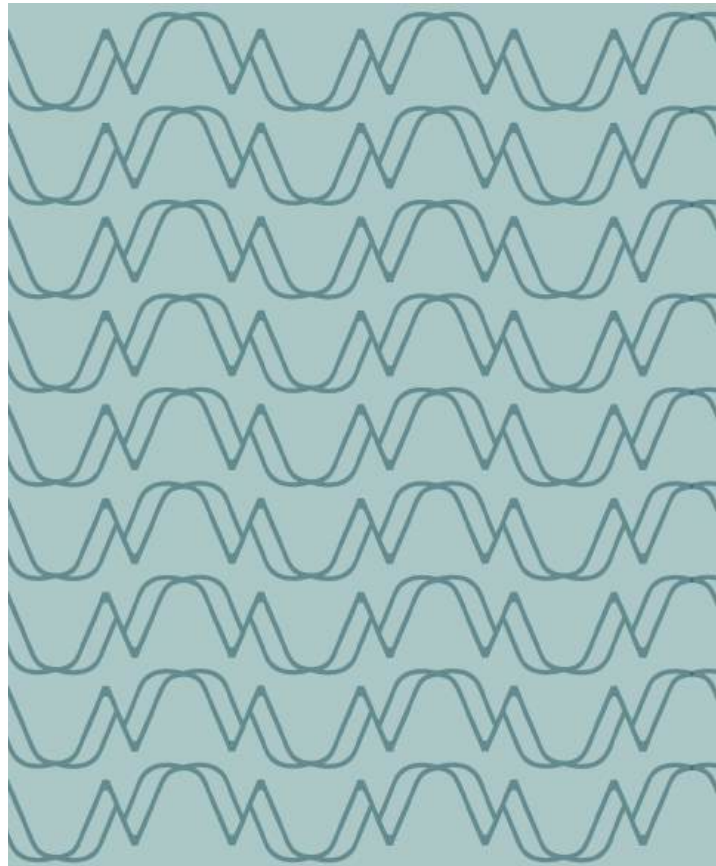
Completion Date:

July 30, 2024

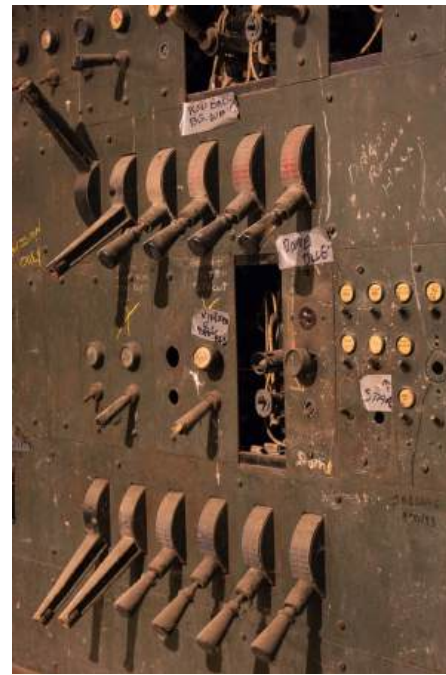
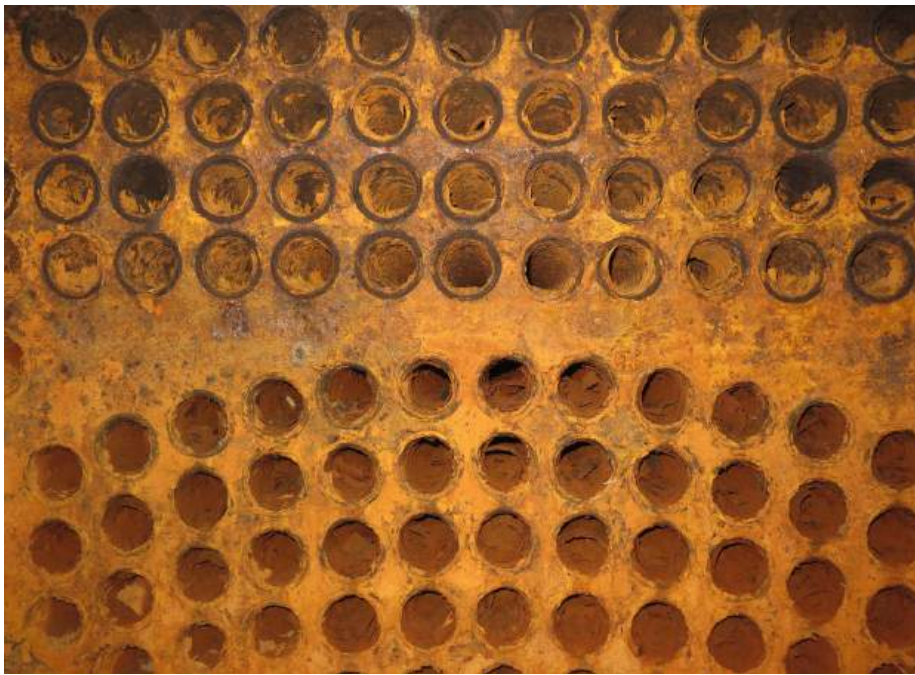




OVER A DECADE IN THE MAKING The building's longtime owner, Steven Rogin, successfully assembled a joint venture development team that would undertake a project to preserve the building for the next generation. Prior to demolition, Paul Sherman was engaged to photograph the Varsity Theater. The team would prioritize a mid-rise scale project entirely within the envelope of the historic structure.



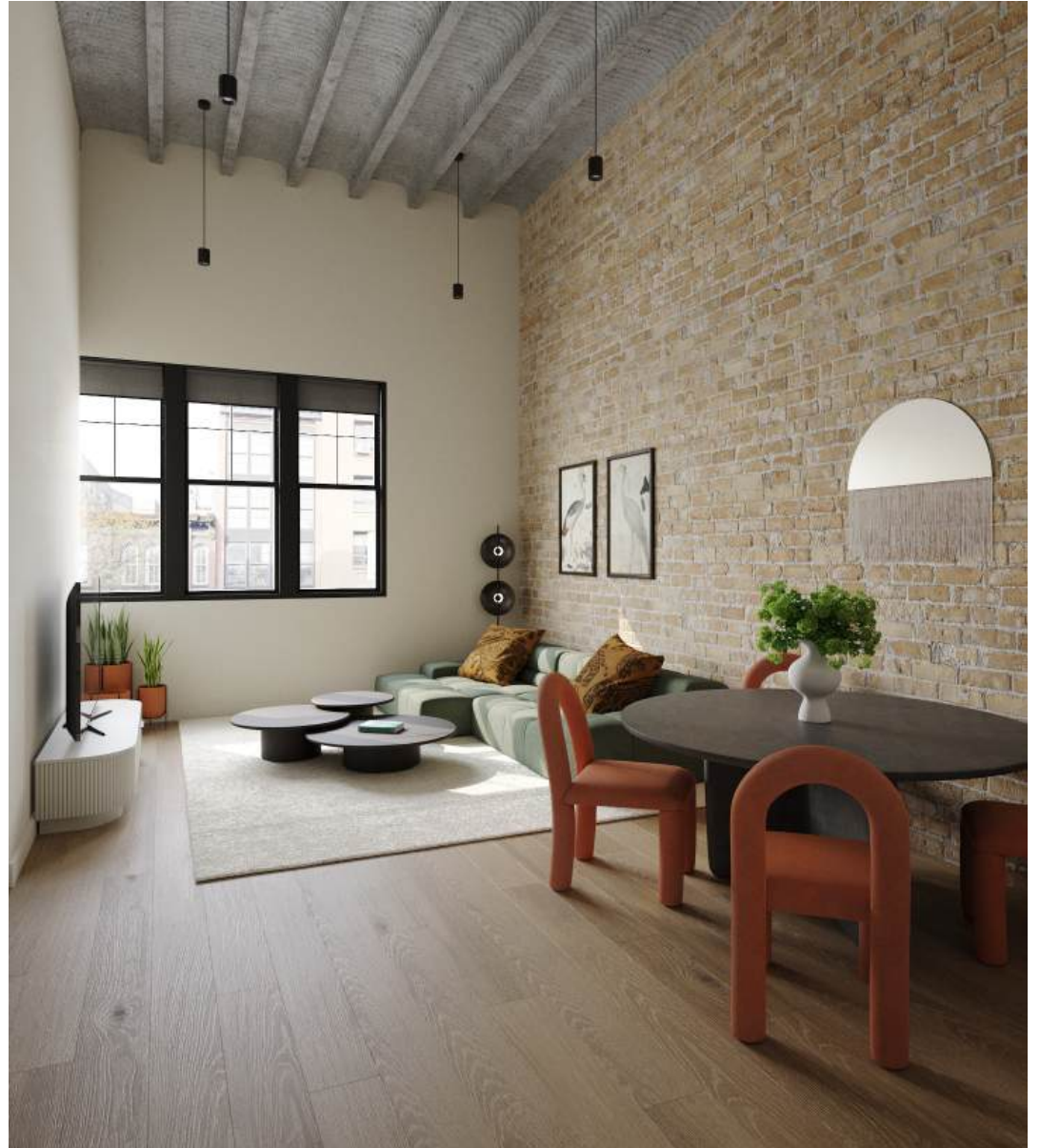
THE VARSITY VISION / IDENTITY Introducing a collection of architecturally unique residences in the heart of downtown Evanston. The units—each with their own distinctive character—celebrate the legacy of the Varsity Theater, one of the most spectacular movie palaces in the country. The Varsity provides a graceful balance between old and new, featuring original exposed brick, tile, and trusses paired with modern finishes.



BOOKMAN'S ALLEY VISION / IDENTITY In Bookman's Alley, you'll take in art and entertainment that breathes life into the history of this place—which includes rare books and time travel*! Whether you're searching for off-the-beaten-path serenity or an enclave filled with activity and culture, you'll find it here. *Roger Carlson, owner of Bookman's Alley Bookstore, was a character in the book and film adaption of the *Time Traveler's Wife*. The author, Audrey Niffenegger, was a longtime resident of Evanston and a frequent visitor of the bookstore.



A HIDDEN ALLEY DESIGNED TO ENRICH YOUR SPIRIT The Varsity and its restored Sherman Avenue frontage gives way to Bookman's Alley, a beloved space. Limited to pedestrian traffic, the placemaking strategy for Bookman's Alley incorporates new retail openings, storefronts and signage standards for retailers and restaurants and an emphasis on public art. *Conceptual renderings*



WHERE EVERYDAY INSPIRATION IS FOUND IN THE DETAILS The Varsity provides a graceful balance between old and new, featuring original exposed brick, tile, and trusses paired with modern finishes. *Conceptual renderings*

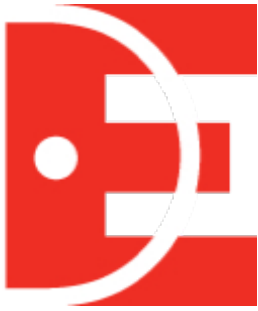


WHERE EVERYDAY INSPIRATION IS FOUND IN THE DETAILS The Varsity provides a graceful balance between old and new, featuring original exposed brick, tile, and trusses paired with modern finishes. *Model photos*



WHERE EVERYDAY INSPIRATION IS FOUND IN THE DETAILS The Varsity provides a graceful balance between old and new, featuring original exposed brick, tile, and trusses paired with modern finishes. *Recent project photos*





DesignEvanston

2024 Awards

Project Description

In 1968, Northwestern students occupied the Bursar's office, demanding improved campus conditions for Black students, including a dedicated space. Thus, a home situated on the campus became known as the Black House, home of African American Student Affairs, and a social hub for generations of students.

The renovation aimed to restore the Black House as a welcoming community hub for Northwestern's African American Community, preserving its historic character. Environmental graphics and art celebrate the Black student experience at Northwestern, including the pivotal 1968 sit-in. Visitors experience an energetic and modern first floor, then ease into quiet spaces on upper floors.

Project Name

Northwestern University
The Black House

Category

Renovation AND Experiential

Address

1914 Sheridan Rd., Evanston, IL

Owner

Northwestern University

Architect

Moody Nolan, Inc.

Contractor

GMA Construction Group

Completion Date

October 1, 2021



Northwestern University
1914 Sheridan Road

THE BLACK HOUSE

The exterior renovation preserves historic architectural details.



Social gathering spaces feature a variety of comfortable furniture and custom artwork.



Before



After

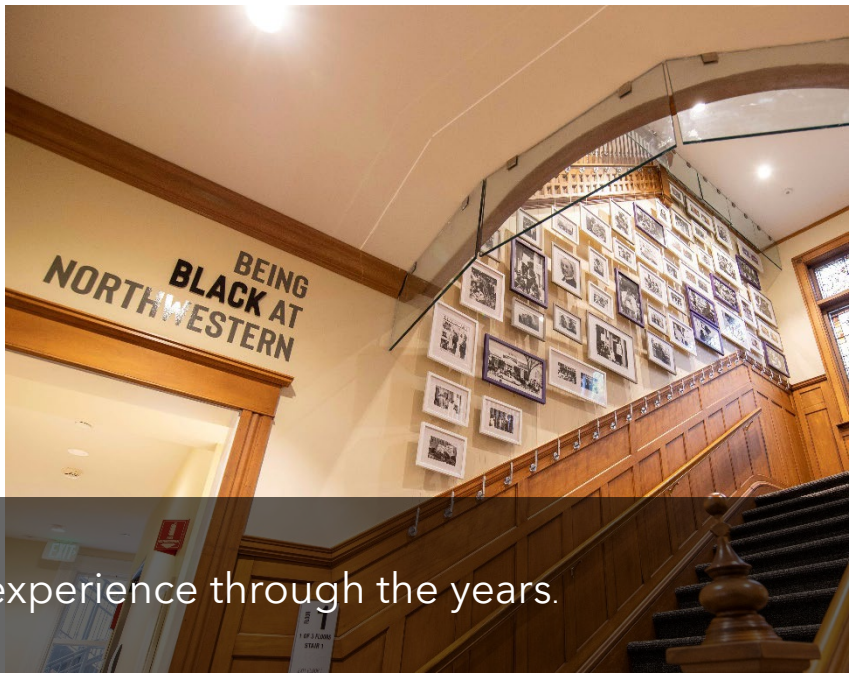
The restored fireplace adds warmth and historic character.



The kitchen serves as a social hub and connects directly to the back porch.



The new back porch provides built-in seating and accommodates outdoor events.



Historic photos showcase the Northwestern student experience through the years.



A replication of a circa 1970s student mural that was discovered during renovations.



OUR DEMANDS & MAY 4TH AGREEMENT OF 1968

Graphic installations activate each floor and explore the origins of the Black House.



Experiential design elements complement quiet spaces.



Experiential design elements complement quiet work and study spaces.



DesignEvanston

2024 Awards

Description:

FirstRepair's National Resource Center for State and Local Reparations mural represents the reparations movement and is inspired by the historic steps of the Evanston community as the nation's first municipally-funded reparations program. The mural depicts life with reparations, focusing on joy and the promise of a repaired future. Brightening a historic corner of Evanston, the mural incorporates symbols relevant to the reparations movement, black liberation, and FirstRepair. The conceptualization and implementation of the National Resource Center utilizes experiential design to promote joy, liberation, justice, and prosperity.

Project Name:

**FirstRepair National Resource
Center for State and Local
Reparations**

Category:

Graphic/Experiential Design

Address:

**1900 Asbury Avenue
Evanston, IL 60201**

Owner:

FirstRepair

Architect:

Defining Humanity 501c(3)

Developer:

N/A

Contractor:

**Damon Reed | Muralist
Seth Watson | Contractor**

Completion Date:

July 2024



FirstRepair

Advocating For Local Reparations, Nationally

NATIONAL REPARATIONS RESOURCE CENTER



FirstRepair's National Resource Center for State and Local Reparations is more than a mural—it's a movement rooted in action and transformation. Anchored in Evanston, the nation's first city to pass a municipal reparations program, the Resource Center uses experiential design to promote joy, liberation, justice, and prosperity. The vibrant exterior, brought to life by artist Damon Reed with *Defining Humanity*, symbolizes the Resource Center's broader mission: to create tangible, lasting change through education, resources, and community empowerment. The Resource Center is not just a space; it's a powerful catalyst for reparations, advancing black liberation and equality.

The mural wrapping the Resource Center stands as a vibrant representation of life with repair, symbolizing generations of leadership and the shared history that propels us forward. Each face, capturing both ancestral wisdom and contemporary spirit, narrates stories of hope, joy, and the ongoing journey toward justice and equality. This visual tapestry draws from powerful symbolism: red for strength and resilience, blue for hope and inspiration, purple for wisdom and dignity, and teal for growth and renewal. Together, these elements inspire a collective pursuit of a future built on equity, recognition, and community-driven change.

"This mural and the Resource Center will serve as a charging station for the Black community and our allies working towards full repair." - Robin Rue Simmons, FirstRepair Founder and Executive Director



Photo credit: Joerg Metzner/Evanston Roundtable

							
Sankofa Emphasizes the importance of learning from the past to improve the present.	Abe Dua Symbolizes wealth, resourcefulness, and self-sufficiency.	Akoben Stands for alertness, readiness, and a call to action.	Akoma Ntoaso Denotes agreement, unity, and togetherness.	Kokuromotie Signifies cooperation, teamwork, and indispensability.	Boa Me Na Me Mmoa Wo Highlights mutual support and interdependence.	Fawohodie Symbolizes freedom, independence, and the responsibilities	Wo Nsa Da Mu A Reflects participatory governance, democracy, and fairness

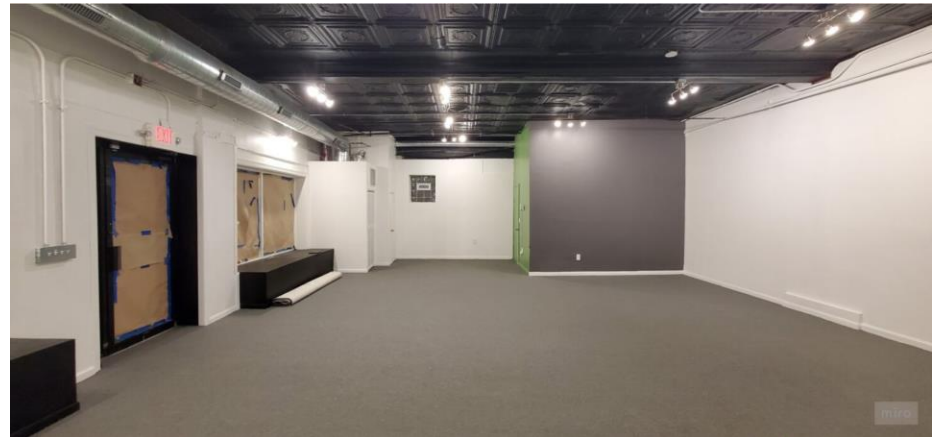
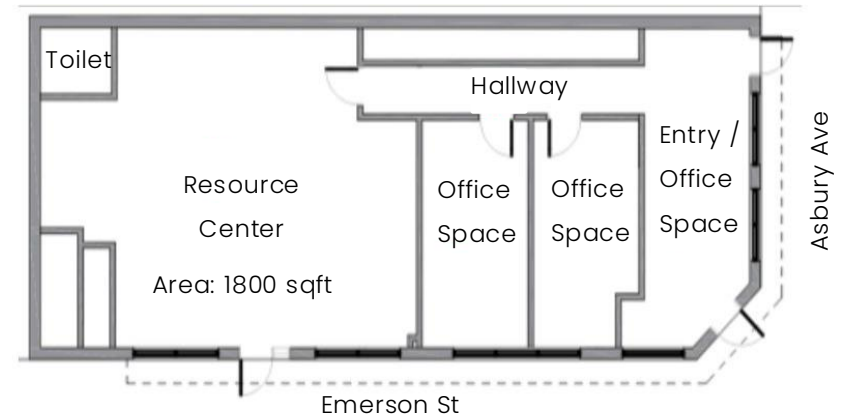


Photo credit: Joerg Metzner/Evanston Roundtable

This mural turns the street corner into a lively space that catches the eye and invites people to pause and connect. It brings a sense of warmth and belonging, encouraging those passing by to feel connected to the neighborhood and its story. The artwork becomes a familiar sight, reflecting the spirit of togetherness and community pride. “Even though I’ve passed through this intersection over a thousand times the paint and patterns on the new mural made it feel like I was seeing this corner for the first time,” said Evanston 5th Ward Councilmember Bobby Burns. “The mural uplifts the area.”

Transformation through thought, Design & Leadership

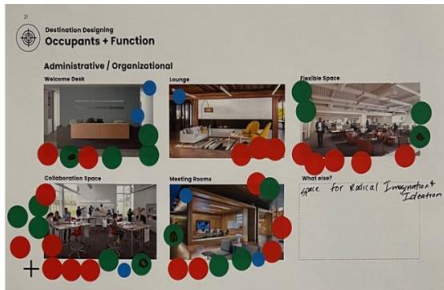
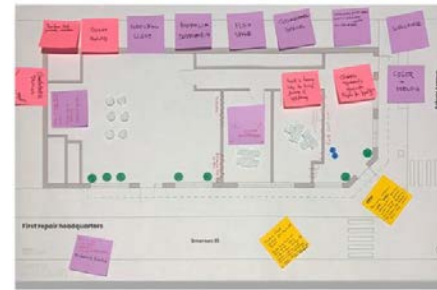
The transformation of this 1,800 sq ft corner building to house the Resource Center represents a profound shift from a typical storefront to a vibrant hub of community empowerment. Once an unassuming structure, the newly designed space now hosts a dynamic Resource Center, providing vital information and support, along with thoughtfully designed office spaces that encourage collaboration and strategic planning. This reimagined environment energizes both the community, the FirstRepair team, and the national reparations movement, physically embodying their mission of reparative justice.



Community Engagement

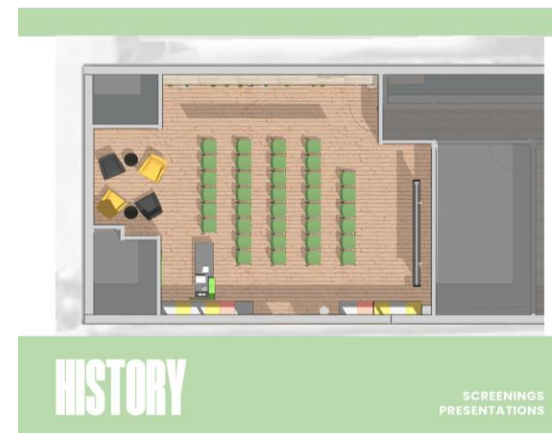
Through a series of community workshops and dialogues in 2023, FirstRepair, Defining Humanity, and artist Damon Reed gathered input and stories from residents and reparations movement leaders to capture the essence of their experiences, aspirations, and dreams. The session was a transformative, hands-on workshop focused on reparation dialogues, where participants were grouped to actively shape their vision for a resource center. Using tools like scaled models and movable furniture, participants physically modeled their ideas, while innovative dot exercises and inclusive voting ensured every voice contributed to the design.

This approach not only democratized the process but also infused the resource center with the community's collective spirit. The result is a blueprint for a vibrant hub of learning, innovation, and unity, embodying reparative justice and laying the foundation for its rea''



Kit of Parts Approach

Our project approach centers on a "Kit of Parts," promoting adaptable space use that can evolve with the community's needs, from event hosting to collaborative workspaces. This design philosophy emphasizes frugality without sacrificing quality, optimizing resource use for sustainable impact. Additionally, the Resource Center aims to be a canvas for local culture and history, enhancing a sense of belonging and identity



Collaboration Space

This layout emphasizes openness, inclusiveness and connectivity. Tables and chairs are arranged to facilitate easy communication and teamwork, fostering an environment where ideas can flourish. The space is bathed in natural light, creating an inviting atmosphere that encourages community members to come together and co-create.



Space to Learn About History

This configuration focuses on creating an intimate setting where individuals can immerse themselves in the rich tapestry of reparations history. Lounge seating and strategically placed tables offer a comfortable environment for reflection and learning.



Space for Art and Creativity

Celebrating the creative spirit, this layout is an ever-changing canvas. Art castors and movable furniture pieces allow for a rotation of art installations, workshops, and exhibitions, making art an accessible and integral part of the community experience, and centers life with reparations expressed with joy through arts, culture, and community.



Adaptability for the Future

Designed with accessibility in mind, this layout maximizes the use of space to provide a plethora of resources. Tables with integrated technology, bookshelves on art castors, teleconferencing, and comfortable seating areas create a multifunctional environment where knowledge and services are readily available.



Space as Resource

Here, the furniture is arranged to create a central open area, surrounded by seating that encourages interaction and engagement. This layout is perfect for celebrations and gatherings, where the joy of the community can be shared and multiplied



Vibrant Design for Collaboration

The elevations and floor plan showcase a space where bold brand colors, purposeful furniture choices, and dynamic graphics work in harmony to energize and inspire. Every element—from collaborative seating to vibrant walls—reflects FirstRepair’s mission, creating an environment where community engagement and focused work seamlessly converge to drive reparative justice forward.



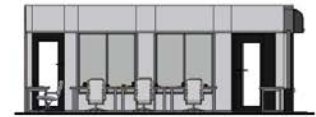
ELEVATION A



ELEVATION B



ELEVATION E



ELEVATION H



ELEVATION C



ELEVATION D



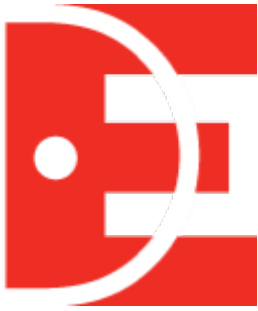
ELEVATION G



ELEVATION F



FLOOR PLAN



DesignEvanston

2024 Awards

Description:

Sauna Club is an authentic, wood burning mobile sauna serving Evanston and beyond.

The owner wanted to bring the pleasures and health benefits of the ancient Nordic tradition to Chicago's North Shore. The 120-square-foot traveling sauna can be rented for private parties or special events and delivered right to your door. Weekly events at Lee St. Beach and Temperance Brewery with special events and private rentals upon request.

The owner bought a steel stove for \$25 on Craigslist. Cedar for the interior walls came from a shuttered Spice House shop in Chicago. A neighbor who was doing updates provided an all-weather glass door. "I'm kind of thrifty," "and I like the idea of reusing and repurposing stuff that's in good shape."

Project Name:

Sauna Club

Category:

Recreation / Health & Wellness

Address:

Mobile

Owner:

Ryan Cohler

Architect:

Voyageur Sauna

Developer: (If any)

n/a

Contractor:

Voyageur Sauna

Completion Date:

2022



Lee Street Beach location



Special running event with lululemon on the Salt Shed grounds



Private Rental



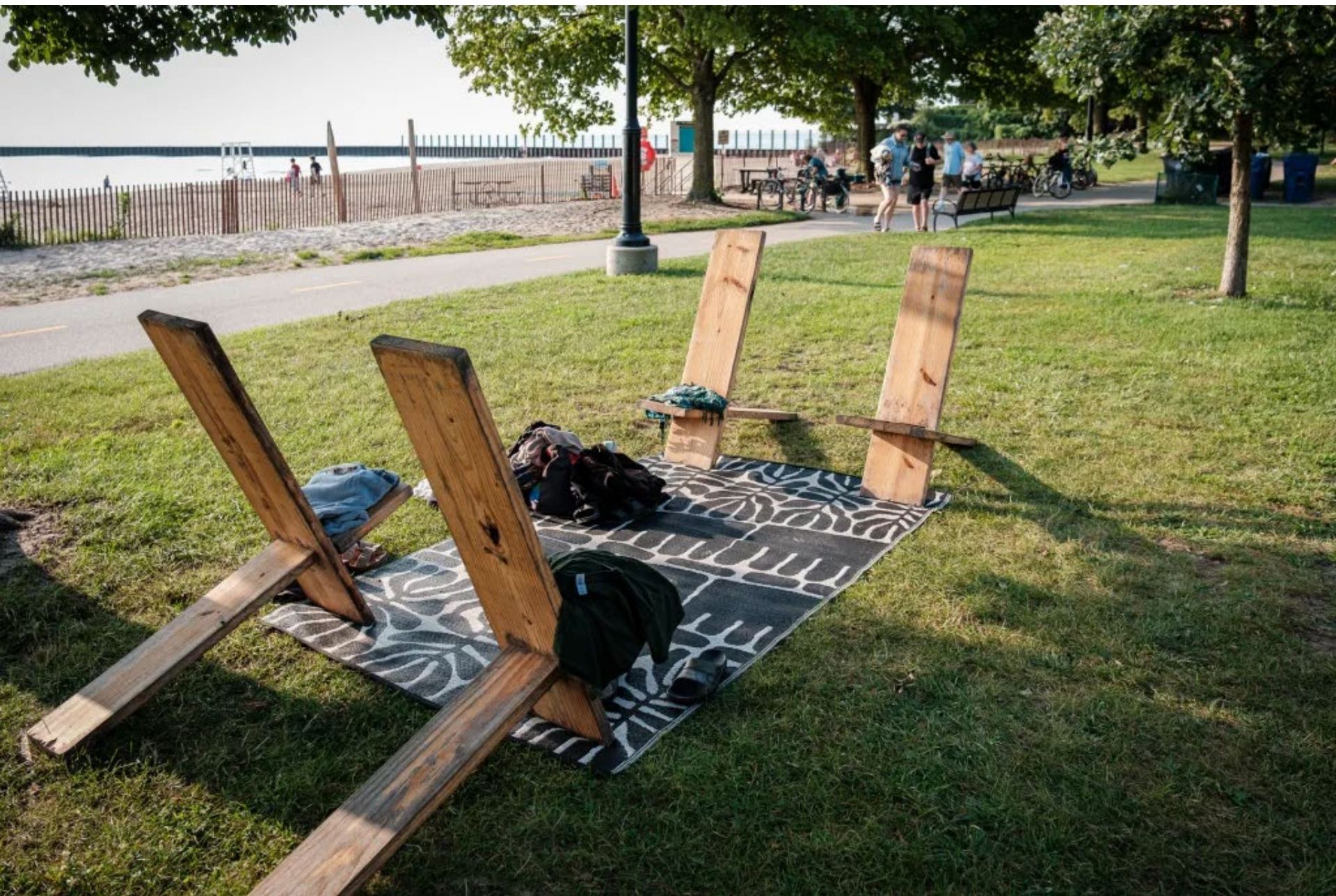
Wood burning sauna stove by Kuuma





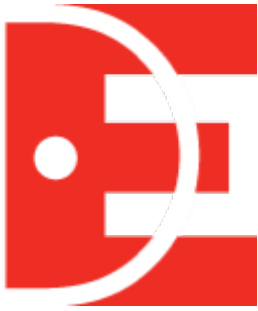


Guests enjoying the experience at Lee St. Beach





Caption:



DesignEvanston

2024 Awards

Description: Mack's Bike and Goods is Evanston's full-service bicycle shop, offering everyday conveniences for all types of adventures and doubling as a community meeting spot.

The ultimate goal of the project was twofold: to repurpose the existing fence on the property for new hand-painted signage and to create opportunities for the community to engage with the art.

The design is entirely hand-painted and features a black-and-white palette to create strong contrast for pedestrians, cyclists, and passersby. It also includes a wrap-around feature that guides you to the entrance of the bicycle shop, which is off the beaten path.

Project Name:

Mack's Bike and Goods

Category:

Graphic/Experiential Design

Address:

2948 Central Street

Owner:

Kelly & Sam Mack

Architect:

Benjamin Marasco

Developer: (If any)

n/a

Contractor:

n/a

Completion Date:

2023



Caption:



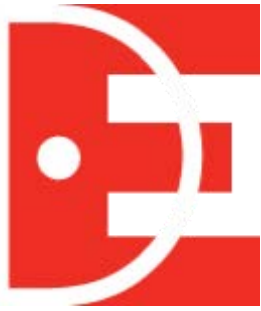
Caption:



Caption:



Caption:



DesignEvanston

2024 Awards

Description: In 2023, Bookends & Beginnings bookstore was forced to leave its home in the former Bookman's Alley space. Its new location at 1620 Orrington Avenue presented a clear design challenge: How to imbue a stark white box with the kind of character, charm, and personality that was part of the Bookends brand in the original location. The goal of the design was to blend the store's core identity as an iconic and friendly college town bookstore into a new space that appealed to both newcomers and faithful customers.

Project Name:

Bookends & Beginnings

Category:

Interiors

Address:

**1620 Orrington, Evanston,
IL**

Owner:

Nina Barrett

Interior Designer:

Faherty Interiors

Bookshelves:

Franklin Fixtures

Contractor:

Vero Design+Build

Mural:

Sam Booker

Logo:

Amanda Good

Completion Date:

February 2023

**Original Location:
Bookman's Alley**



**Before Photos:
1620 Orrington**





BOOKENDS & BEGINNINGS

Bookends & Beginnings in the evening. The eclectic mix of chandeliers was sourced locally from Evanston's Rebuilding Exchange.



The design was conceived by Anne Faherty, an interior designer from Chicago, who aimed to utilize darker shades to make the space appear more intimate. By blending striking teal walls, luxurious gold accents, and a dark ceiling, the room exudes both grandeur and warmth.

The eclectic mix of vintage chandeliers and area rugs adds a touch of "lived-in old home" charm that is Evanston.

To signal the breadth of the store's selection, upon entry, customers are greeted with both a prominent shelf of elegantly displayed literary classics and tables stacked high with current best-sellers.

Custom shelving was designed for the space by Franklin Fixtures—purveyors of fixtures for many legendary stores including the cozy shop owned by Meg Ryan's character in the film "You've Got Mail."





As the envelope of the space is dark teal and black, an off-white palette was selected for the children's area to lend a more whimsical feel, embodied by the life-sized giraffe. Separate small nooks for very young and middle-grade readers were designed to make kids' book hunting an adventure.



Commissioned for the large blank wall above the staircase, this vibrant mural by brother-artists and Evanston natives Sam Booker and George Booker portrays giant books bursting out of the basement and features many hidden “Easter egg” delights for the viewer who looks closely. The golden store logo is visible from the street at night, glowing through the store’s front windows.



Jacob Shapiro of the Skokie firm Vero Design + Build added many custom touches, including custom cherry countertops, the nook for the downstairs MiniBar, and this Secret Bookcase Door, which slides open to reveal the storage space where chairs to seat 75 event attendees are stored.

Composed of colorfully jacketed classics, the "Rainbow Wall" of World Cloud editions by Canterbury Classics arrests the attention of customers coming down the stairway to the lower level, compelling Instagram selfies branded with the store's logo that help market the shop when customers post them online.



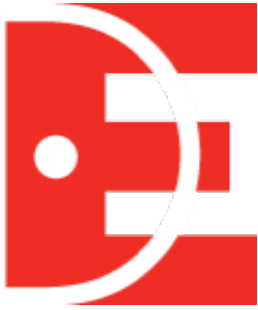
THE MINIBAR

Beer • Wine • Cocktails • Snacks

MINI BAR	
Cocktails 7-10pm (approx.)	
Old Fashioned	10
Mojito	8
Mint Julep	8
Margarita	8
Harold's Special	8
Old Fashioned	8
Southside	8
Wine 7-10pm (approx.)	
Chateau Margaux	10
Pinot Noir	8
Chardonnay	8
Sauvignon Blanc	8
Rose	8
Beer/Seltzer	
Stouthouse IPA	8
Stouthouse Lager	8
Super Citrus Seltzer	10
Stouthouse Cider	8
Non-Alcoholic	
Stouthouse Cider	8
Stouthouse Cider	8
Stouthouse Cider	8
Stouthouse Cider	8
Stouthouse Cider	8
Stouthouse Cider	8
Stouthouse Cider	8
Stouthouse Cider	8
Stouthouse Cider	8
Stouthouse Cider	8
Snacks 7-10pm (approx.)	
Stouthouse Cider	8
Stouthouse Cider	8
Stouthouse Cider	8
Stouthouse Cider	8
Stouthouse Cider	8
Stouthouse Cider	8
Stouthouse Cider	8
Stouthouse Cider	8
Stouthouse Cider	8
Stouthouse Cider	8
ASK FOR SPECIALS	



The downstairs MiniBar is literally a “hole in the wall,” creating a speakeasy vibe in the space frequently used for events ranging from small poetry readings to packed author signings. Like a hotel minibar, the offerings (including beer, wine, cocktails, and snacks) are all in single-serving containers, so booksellers can easily serve as bartenders without the complexities of traditional bartending.



DesignEvanston

2024 Awards

Description: Mensch's Deli is our love letter to the classic Jewish deli. While New York and LA still cherish these traditional delis, Chicago's scene has faded. We're on a mission to revive the authentic vibe, flavor, and warmth of a true New York-style Jewish deli right here in Chicagoland. We hope Mensch's brings back that cherished experience.

Project Name:

Mensch's Deli

Category:

Architecture

Address:

1608 Chicago Ave, Evanston

Owner:

Jack DeMar, Eric Kogan, Kiki Eliopolous

Architect:

Aria (Architect), Dalier Studio (Interior Designer)

Contractor:

Tony Giacopelli

Completion Date:

June 2024



Caption: Hand painted and gold-leaf signage.



Caption: Traditional design aesthetics featuring warm color tones, walnut textured walls, schoolhouse light fixtures, and of course, generational family photos.

BAGELS & SMOKED FISH

TRY THE LOX
TRY THE TUNA
TRY THE TROUT!

OPEN-FACED BAGEL SANDWICHES

Served on your choice of bagel or bialy
Substitute gluten free bagel \$1.49

THE FIXINS	Acme nova lox, onions, capers, tomato, scallion cream cheese	\$14.99
THE PURIST	Acme nova lox, onions, scallion cream cheese	\$13.99
THE BOYCHICK	Lox cream cheese, a perfectly seasoned tomato, caraway, chives	\$9.99
THE VEGGIE BAGEL	Tomato, cucumber, onion, capers, fresh herbs, scallion cream cheese	\$10.99
THE NITKOSHER	Bacon, tomato, scallion cream cheese, fresh cracked black pepper	\$11.99
THE WHITEFISH BAGEL	Whitefish salad, garlic, fresh herbs, lemon	\$12.99



BAGELS

PLAIN • EVERYTHING • SESAME
ONION • EGG • CINNAMON RASIN
GLUTEN FREE*

BIALYS

PLAIN • ONION

SCHMEARS

PLAIN • SCALLION • LOX • VEGAN

BAGELS & BIALYS BY OUR FRIENDS AT NEW YORK BAGEL & BIALY

Delivered fresh every morning!

FISH PLATTERS

Served with onion, tomato, cucumber, capers, lemon,
scallion cream cheese, olives & a bagel or bialy

ACME NOVA LOX
\$22

SMOKED TROUT
\$21

HOUSE GRAVLAX
\$22

KIPPERED SALMON
\$22

WHITEFISH SALAD
\$17

SMOKED WHITEFISH
\$21

TUNA SALAD
\$15

PICK THREE
\$23

ALL SMOKED FISH PREPARED RIGHT HERE AT MENSCH'S! (EXCEPT THE ACME NOVA LOX, THEY DO IT BEST)

SANDWICHES • SOUPS • AND A SALAD

Mensch's
"SOON TO BE FAMOUS"
PASTRAMI!

MENSCH'S PASTRAMI

Piled high on rye with deli
mustard, served with pickles

\$16

SANDWICHES

Served with pickles

DELI CLASSICS

MENSCH'S PASTRAMI WITH MUSTARD ON RYE	\$16.99
MENSCH'S CORNED BEEF WITH MUSTARD ON RYE	\$15.99
THE BIG WACHER	\$17.99
Pastrami, corned beef, coleslaw, 1000 island, served on rye	
HOT TURKEY	\$11.99
TURKEY DELI	\$12.99
Chickens and 1000 island, served on challah	
TURKEY CLUB	\$13.99
Bacon, lettuce, tomato, with, served on challah	
SALAMI SANDWICH WITH MUSTARD ON A POTATO ROLL	\$9.99
HEAT AN UGALAK	\$9.99
GRILLED CHEESE	\$8.99
Cheese of cheddar, swiss, or american, served on challah	

MELTS

Made with Swiss or cheddar,
served with tomato & butter pickles

TUNA MELT	\$11.99
CHICKEN SALAD MELT	\$11.99

SALAD SANDWICHES

Served on your choice of bread

TUNA SALAD	\$9.99
CHICKEN SALAD	\$9.99
CHOPPED LIVER	\$9.99

REUBENS

Served on rye with Swiss cheese, sauerkraut, & 1000 island dressing

CORNED BEEF REUBEN	\$14.99
PASTRAMI REUBEN	\$15.99
TURKEY REUBEN	\$13.99
MILKSHAK REUBEN	\$13.99

PASTRAMI, CORNED BEEF, & TURKEY
all prepared fresh in-house!

HALF SANDWICH & A CUP OF SOUP

ADD \$1.99 FOR CORNED BEEF OR PASTRAMI
* EXCLUDES REUBENS & MELTS

SOUP

Bowls served with a bread basket

	Cup	Bowl
CHICKEN NOODLE	\$4	\$11
MATZO BALL	\$4	\$11
MATZO BALL WITH NOODLES	\$4	\$11
HARVEST VEGETABLE	\$4	\$11

A SALAD

THE SALAD
Romaine, tomato, cucumber, bell
peppers, red onion, artichoke
hearts, chickpeas, & olives,
tossed in a simple vinaigrette.

SIDES

COLESLAW	\$3.99
POTATO SALAD	\$3.99
CHOPPED LIVER	\$6.99
PICKLED GREEN TOMATO	\$1.99
DILL OR NEW PICKLE	\$1.99
PICKLE PLATE	\$3.99
BREAD & BUTTER PICKLES	\$0.99
POTATO CHIPS	\$1.99
BBQ, sour cream & onion, or sea salt	



Caption: Tchotchkes, knick-knacks, and Jewish cookbooks overlooking the dining room.



Caption: Mensch's merch!



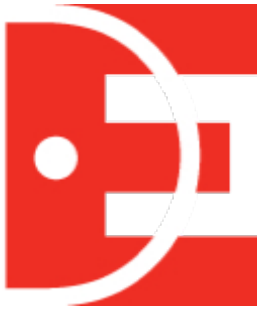
Caption: The Mensch's deli counter (coming soon) and the quick service area used for first-come first-serve seating for customers ordering take-away from the counter.



Caption: The Fixins sandwich (scallion shmear, capers, tomato, onion, lox, chives, and dill). Homemade pickles (green tomato, half sour, dill).



Caption: Mensch's famous berry and cheese blintzes!



DesignEvanston

2024 Awards

Description:

Lefty's Righteous Bagels is a 1,700 SF Bagel and Café. They specialize in Montreal inspired hand rolled, wood fired bagels. The project involved a complete interior renovation of an existing salon space. The design is inspired by a traditional bagel shop while obtaining a more modern feel, as well as the use of selective branding touches. The design was a true collaboration between owner's ideas/goals and the architecture/design team interpretation. In addition the layout of the space was highly studied between owner and design team to achieve a high level of efficiency when it came to the special bagel making process Lefty's utilizes.



Project Name:

Lefty's Righteous Bagels

Category:

Interior Design

Commercial/Retail

Address:

827 Chicago Ave

Owner:

Brad Nadborne

Architect:

Techno LTD

Developer: (If any)

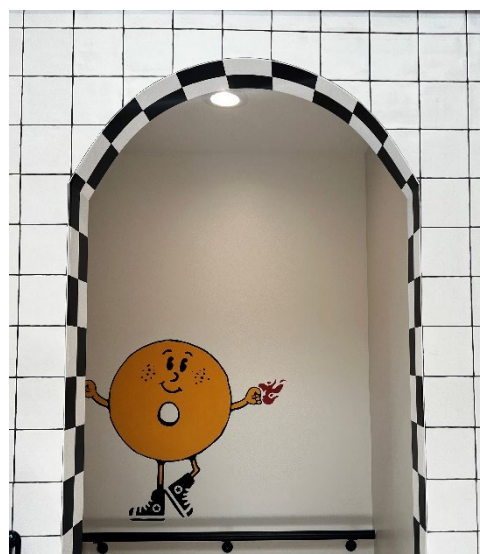
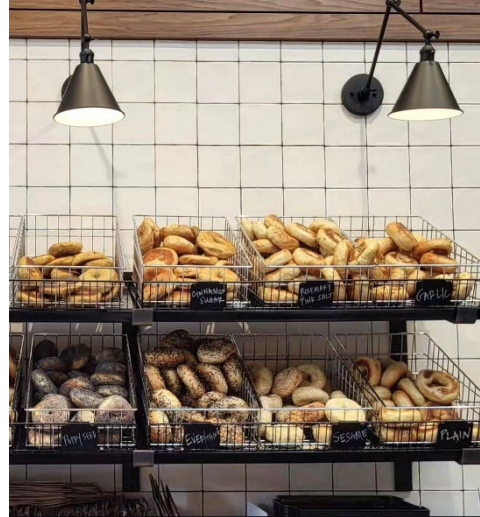
n/a

Contractor:

Romeo Construction

Completion Date:

July 2024



The Design is bagel shop traditional but modern with a touch of playful. This idea can be seen from the graphics on the walls to the tile in the front of the counters. The color palette for the space is partly driven by the overall branding without being overwhelming. The idea was to play with the yellows and reds as accents or statement moments within the space. You can see this idea played out within the light fixtures, yellow base cabinet millwork and red wall tile of the wood fired oven. The wood finishes throughout speak to Lefty's bagel making process of being "wood fired". It was a great way to tie the design back to the bagel making process. Additionally, the idea of using butcher block counter tops reinforces the idea of the bagels being hand crafted.





View looking into kitchen from point of sale. The design idea was to keep a line of sight from the moment you walk in directly back to the wood fired oven.



There are clever moments within the design which you may not pick up at first. One example of this would be the decorative light fixtures. While they are meeting branding colors, they are also symbolic of “bagel and cream cheese”. This was very intentional when selecting The more decorative lighting products for the space and happy the owner saw the vision and liked them as well for that reason.





View looking from point of sale to the back of the space. This is also starts to give you a view of the opening into the kitchen, where patrons can sit and watch the entire bagel making process. You will also see in this photo this idea of traditional/vintage looking fixtures blending with the a more modern fixture/decorative pendants.



View into the kitchen from the viewing countertop. Branding elements on the walls, checkered tile detail which is also part of Lefty's branding.



Views from inside the kitchen. There was detailed thought into the tile that was selected. The use of red was not only part of the branding but it was a way to draw your eye to one of the big reasons Bagels from Lefty's are so special, which is the wood fired oven. It's a show piece for the space and deserved attention, thus red was the perfect solution for this in the neutral surrounding. Additionally, the tile itself was fired clay, again an intentional selection as it relates to the bagels themselves being fired.

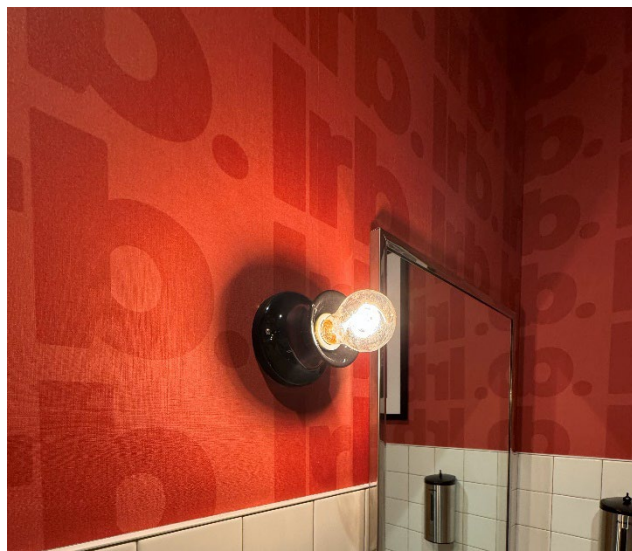




View looking from the back to the front of the space. Being the space is only 1,700SF and narrow in width, sightlines were important to consider especially with all the natural light from the large front windows. You can see from this image the intention to maintain the views the outside from the last seat is still accessible. Additional details of branding being added to the existing brick wall.



Ideas of playfulness, branding, traditional and modern design were carried all the way to the toilets, we were thankful the owner saw the importance of a comprehensive design to an area most spaces would not want to invest too much money into. The wallpaper is custom printed with the LRB branding in yellow and red. The photos are hand selected from the owner that related back to the craftsmanship of hand rolling bagels as well as some more playful images of a women sharing a bagel with her dog.

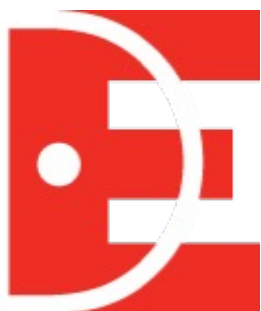




If the little things make such a big difference, maybe they're not such little things



Another important design element to the space was the pick up window and that direct access to the community. The owner and design team were grateful the city was accepting of this feature as it also helped facilitate the way in with the space wanted to operate from a functional standpoint.



DesignEvanston

2024 Awards

Description:

Pink & Tan is a retail store located within a historic building designed by Daniel Burnham on the corner of Dempster Avenue and Chicago Ave. Our design approach was to create a simple, clean and flexible store that can accommodate a multitude of product types and activities.

The store was completely refreshed with new sheetrock walls and white oak floors. We also replaced some of the original tin ceiling, matching the original pattern. The storefront façade was modernized with windows all the way up to the ceiling to match the block and painted in dark gray in keeping with the historic palette.

On the interior, we designed the the perimeter walls, shelves and ceiling like a gallery space, we chose to paint the walls white and light gray as a backdrop to bold, bright, colorful objects on display. The neutral background highlights foreground layers of colors and patterns allowing them to really pop in the space.

The display furniture accommodates flexibility in community engagement activities such as workshops, talks, and receptions.

Project Name:

Pink & Tan

Category:

Interior Design

Address:

604 Dempster Street

Owner:

Maggie Peng & Noah Sheldon

Designer:

Maggie Peng

Landlord:

Brad Freeman

Contractor:

Thomas Mestininkas

Completion Date:

2022-2023



Caption: Our design approach was to create a simple, clean and flexible store that can accommodate a multitude of product types and activities.



Caption: The existing retail space, located in a Daniel Burnham landmark building, had not been renovated in over 17 years.



Caption: The new white oak hardwood floors are finished in a natural satin epoxy coat, a perfect backdrop for bright colors To pop.



Caption: The walls are painted in white and gray neutrals to set up a background for bright colors, patterns, and textures.



Caption: The retail displays are set up with flexible Rakks shelving and freestanding furniture that can be moved around easily.



Caption: A simple cash wrap is situated in front of a hidden bathroom behind the counter.

Caption: The same approach is the retail displays creates a seamless and consistent flow, like this kids nook.

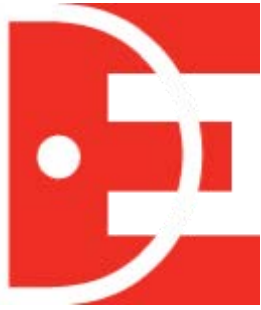




Caption: Our cozy kid's nook is filled with fun, colorful and textured toys that encourage play.



Caption: An arched doorway, lined with pink curtains connects the retail floor with the storage room.



DesignEvanston

2024 Awards

Description:

Project Scope: We were able to take a blank white box with fluorescent lighting and a drop ceiling and transform into our retail and design boutique. We made an effort to include natural elements, custom lighting and versatile space for shopping, creating and client interactive events.

Project Name:

Maison Du Prince Boutique

Category:

Merchandising

Address:

1239 Chicago Avenue

Owner:

Ramsey Prince

Completion Date:

2024







INTERACTIVE COMMUNITY EVENTS

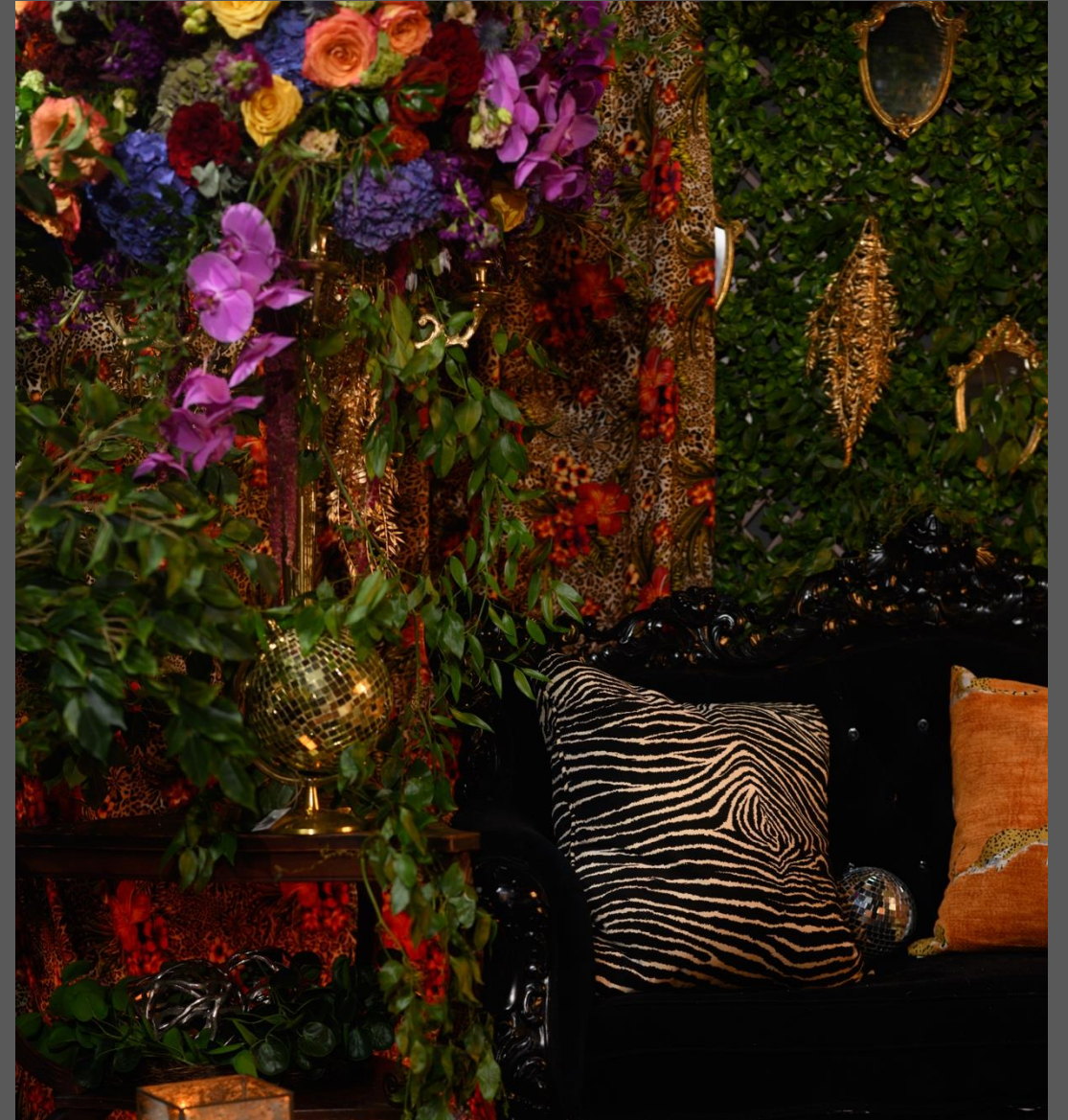




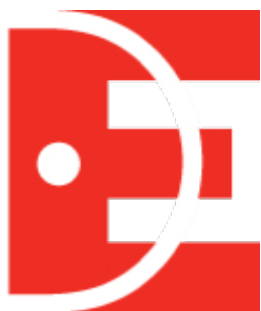


IN STORE
PHOTO
OPS









DesignEvanston

2024 Awards

Description:

The Joe and the Juice design was inspired by a French cafe that opens fully to the street with large folding doors. The goal was to have a fully operable storefront to allow the life of the interior to spill out on to the sidewalk. The J&J café is the gateway to the rest of the building which includes a boutique fitness gym (Designed by Bergman Design House of London) and an apartment. The vision of the project was to create the owner's perfect day of jiu jitsu training and recovery fueled by great food in an inspiring setting.

(Enter here: Not more than 100 words. Include facts, details about the project, inspiration and design intent, goals, vision.)

Project Name:

Perfect Day

Category:

Fast

Address:

1801 Central Street

Owner:

Jim Hennessey

Architect:

Mason Miller

Developer: (If any)

Jim Hennessey

Contractor:

Crosstown Design Build

Completion Date:

Joe and the Juice grand opening February 15, 2024



JOE & THE JUICE







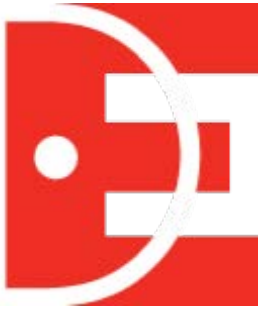












DesignEvanston 2024 Awards

Description: The act of growing up is thrilling for children and parents alike. But with feelings of accomplishment come moments of bewilderment and uncertainty. At Third Coast Pediatric Dentistry, we are chaperones for children's healthy relationship with oral health. With this project - the complete re-branding of our business and down-to-the-studs renovation of a physical environment - we had the opportunity to create a welcoming community institution, actively support our neighbors and become invested in the emotional prosperity of the population we serve. This project represents the collective life and professional experiences of our doctor and staff, as well as the patients and families we care for.

Project Name:
Third Coast Pediatric Dentistry
Category:
**Rehabilitation/Renovation,
Interior Design, Graphic/
Experiential Design**
Address:
2942 Central St.
Owner:
Jason Glick
Designer:
DesignScout Ltd.
Contractor:
ACOA, Ltd.
Completion Date:
6 March 2024

COLOR

Note To Designers: CMYK, RGB, and HEX values may differ from Pantone® Color Bridge specifications. Always use the values specified in this document.



LOGOS

Secondary

POSITIVE for light backgrounds

third coast™

third coast™

NEGATIVE for dark backgrounds

third coast™

third coast™

LOGOS

Specialty

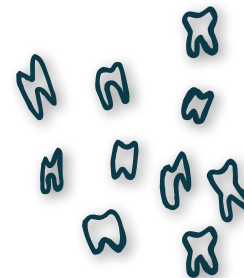
POSITIVE for light backgrounds

GO GET 'EM KID
third coast™
PEDIATRIC DENTISTRY

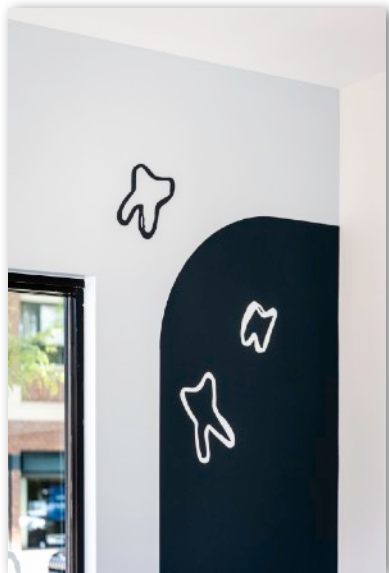
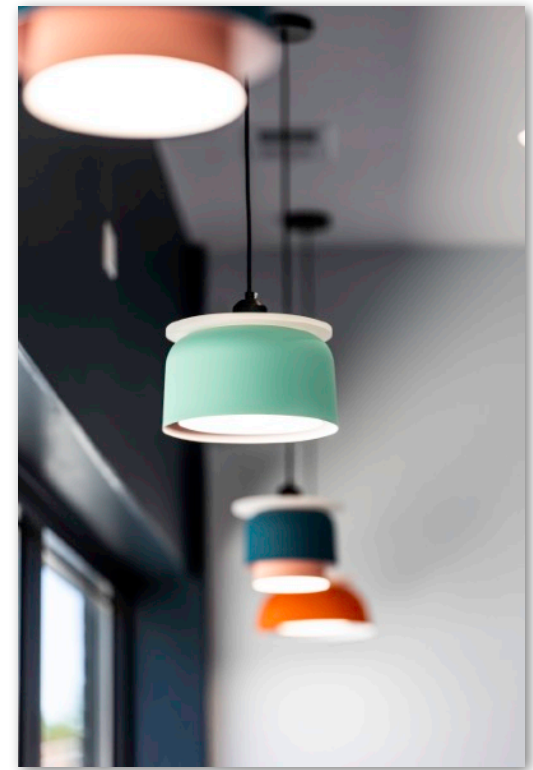
NEGATIVE for dark backgrounds

GO GET 'EM KID
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PEDIATRIC DENTISTRY

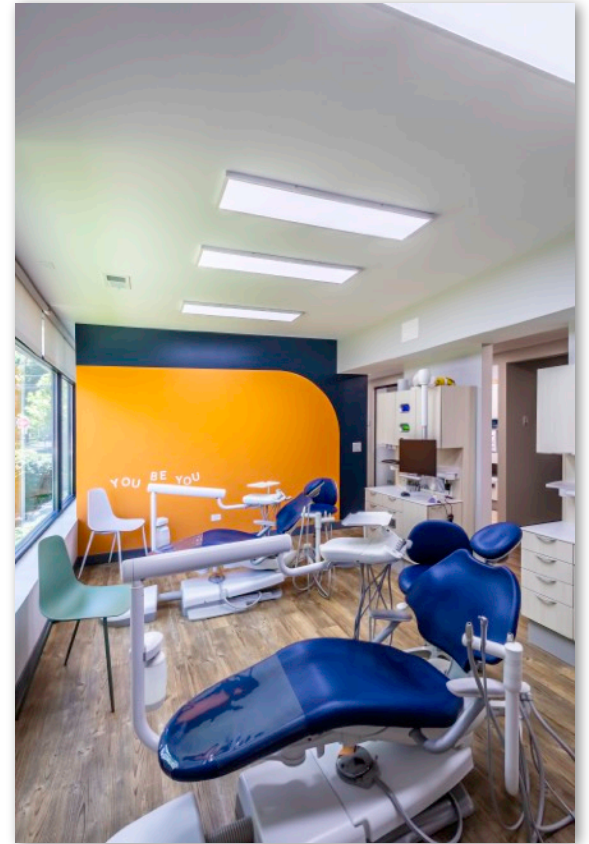
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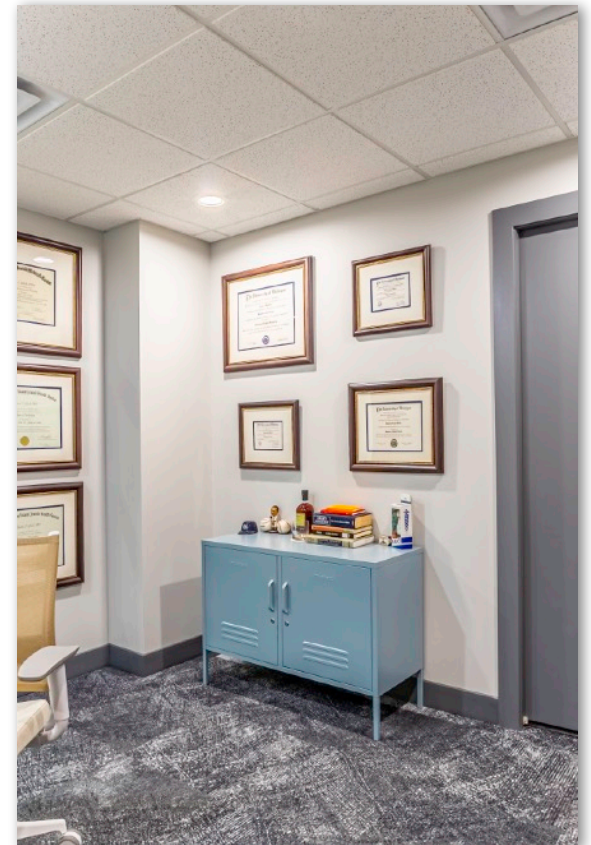


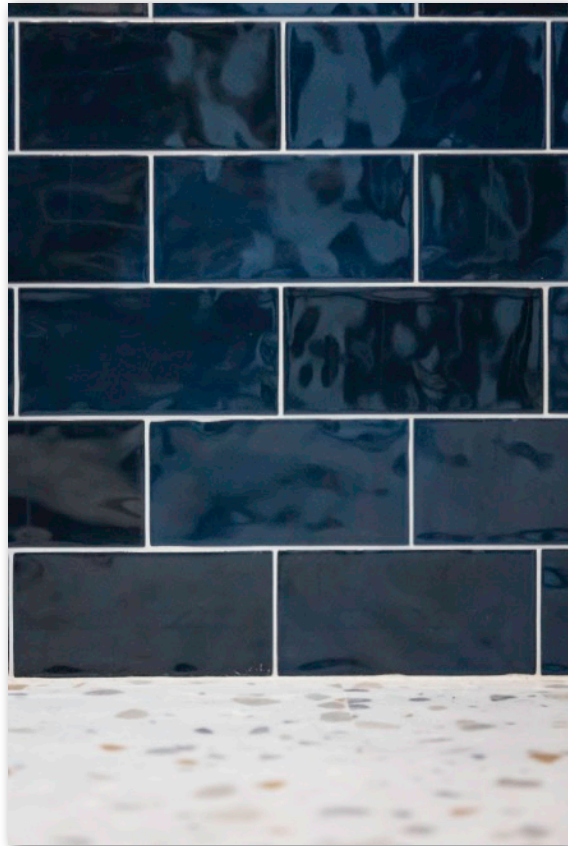
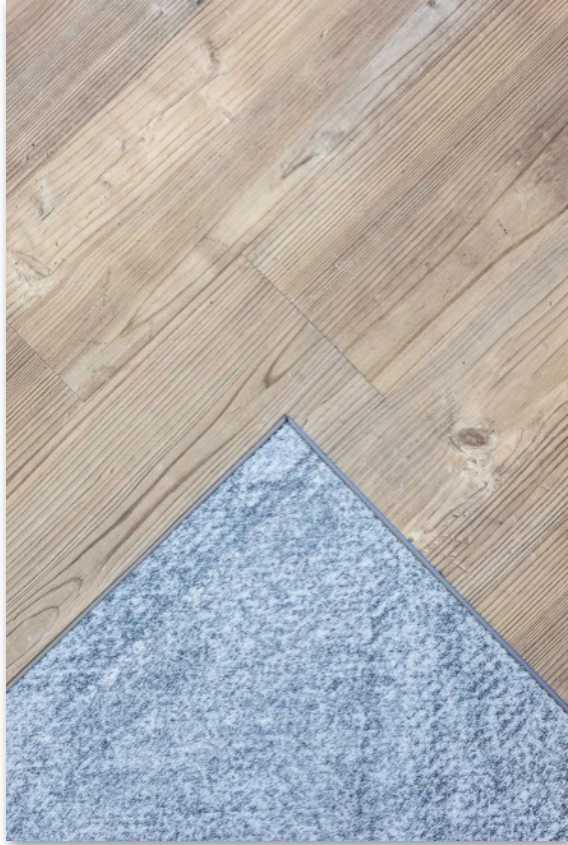


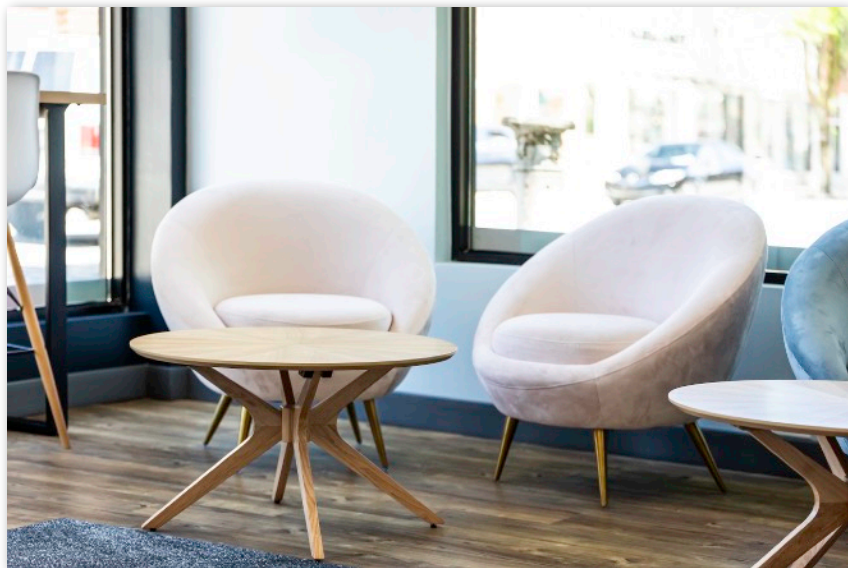
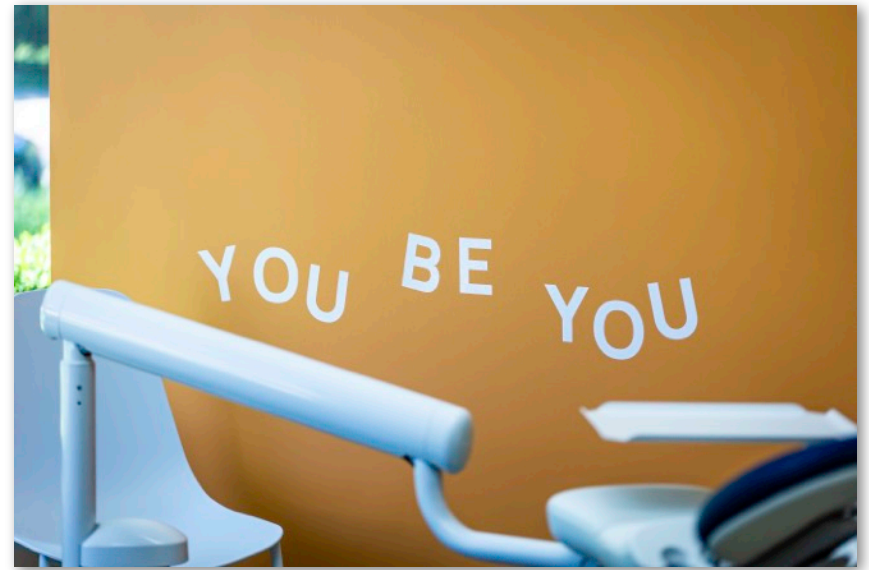
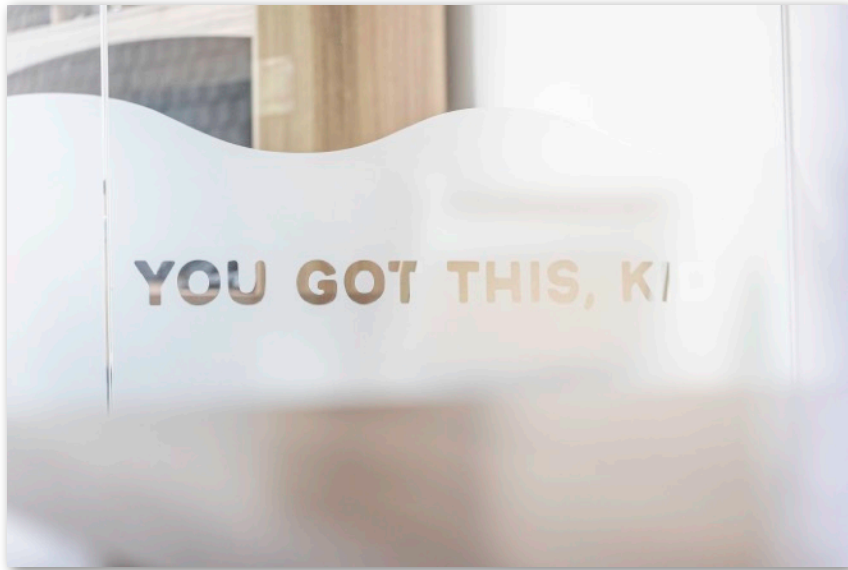


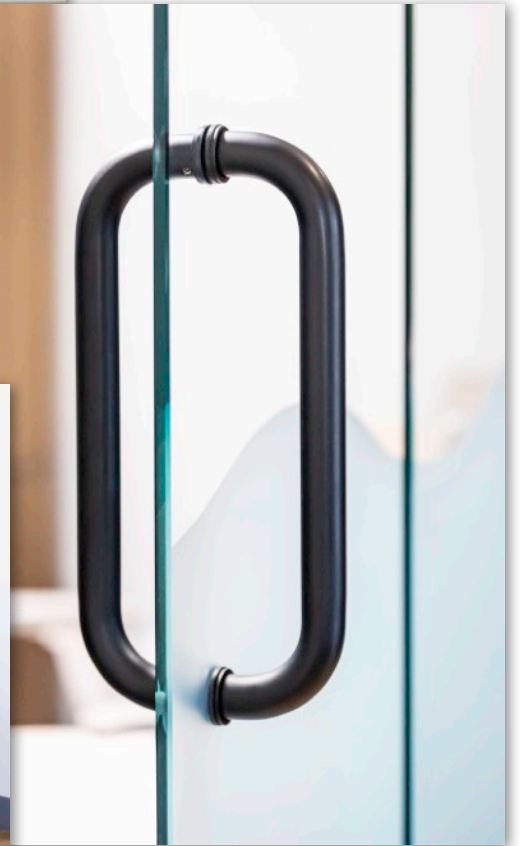
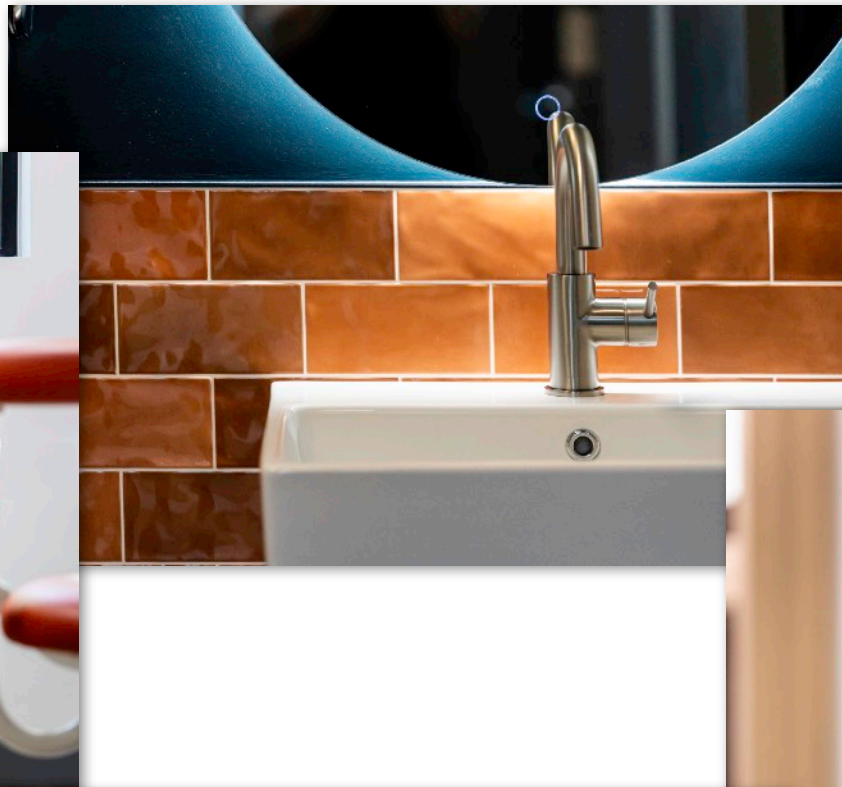


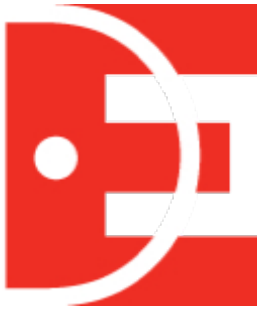












DesignEvanston

2024 Awards

Description:

ULRI/ULSE wanted to establish its own brand identity and be “like a start-up within an established organization.”

A primary goal was to create a place that would entice current and attract new employees to the fast-growing organization. Teams asked for integrated and intuitive collaboration spaces, flexible presentation spaces, and variety in focused work areas.

The design maximizes sightlines to the stunning views from the top floors of Evanston’s tallest building, and natural light reaches deep into the work areas. Ergonomic furniture, healthy materials, and efficient fixtures were selected for timeless appeal as well as acoustic, thermal and lighting comfort.

Project Name:

**UL Research Institutes and UL
Standards & Engagement
(ULRI/ULSE)**

Category:

Interior Design

Address:

**1603 Orrington, Evanston, IL
Suite 2000**

Owner:

**UL Research Institutes and
Standards & Engagement**

Architect:

Perkins&Will

Developer: (Owners Rep)

Cushman & Wakefield

Contractor:

Executive Construction Inc

Completion Date:

November 2023



The welcoming visitor reception area features views of Chicago to the South.



The corridor from reception to the café provides sightlines to Lake Michigan.



The selection of natural materials including light oak veneer, a warm color palette, and biophilia elements such as large moss walls, create an inviting and timeless aesthetic.



Private offices, conference rooms and a hospitality areas support local and international visitors.

The Executive Conference Room break out area accommodates conversations before and after meetings.





Light-filled work areas including glass-front offices, conference and huddle rooms provide variety and choice.



Collaboration areas include upholstered booths surrounded by sound-absorbing materials. High-top tables are centrally located to support impromptu conversations, meetings, or celebrations.



The new work environment includes ergonomic seating, adjustable height worksurfaces and an abundance of natural light and stunning views throughout.

Wellness rooms accommodate a variety of personal needs and feature unobstructed views, a sink, refrigerator, and comfortable seating.





DesignEvanston

2024 Awards

Description: Evanston wheeled sports enthusiasts guided the design for this active space. Skaters, BMX riders, parents, kids and teens took surveys, submitted images, and participated in design workshops. The result is a vibrant community hub that brings together all ages and abilities.

Features include:

1. 10,000 s.f. concrete skate park, including bowl, quarterpipes, stairs, ramps + steel elements;
2. LED lighting;
3. Custom cantilevered shelter;
4. Seating with grind ledges;
5. Benches, picnic tables, drinking fountain, toilet enclosure + signage;
6. Rain gardens + native plantings.

The Park received funding from the Illinois Department of Natural Resources Open Space and Land Acquisition and Development (OSLAD) Grant.

Project Name:

Evanston Skate Park

Category:

Landscape Architecture

Address:

Twiggs Park

Owner:

City of Evanston

Architect:

Teska Associates

Engineer:

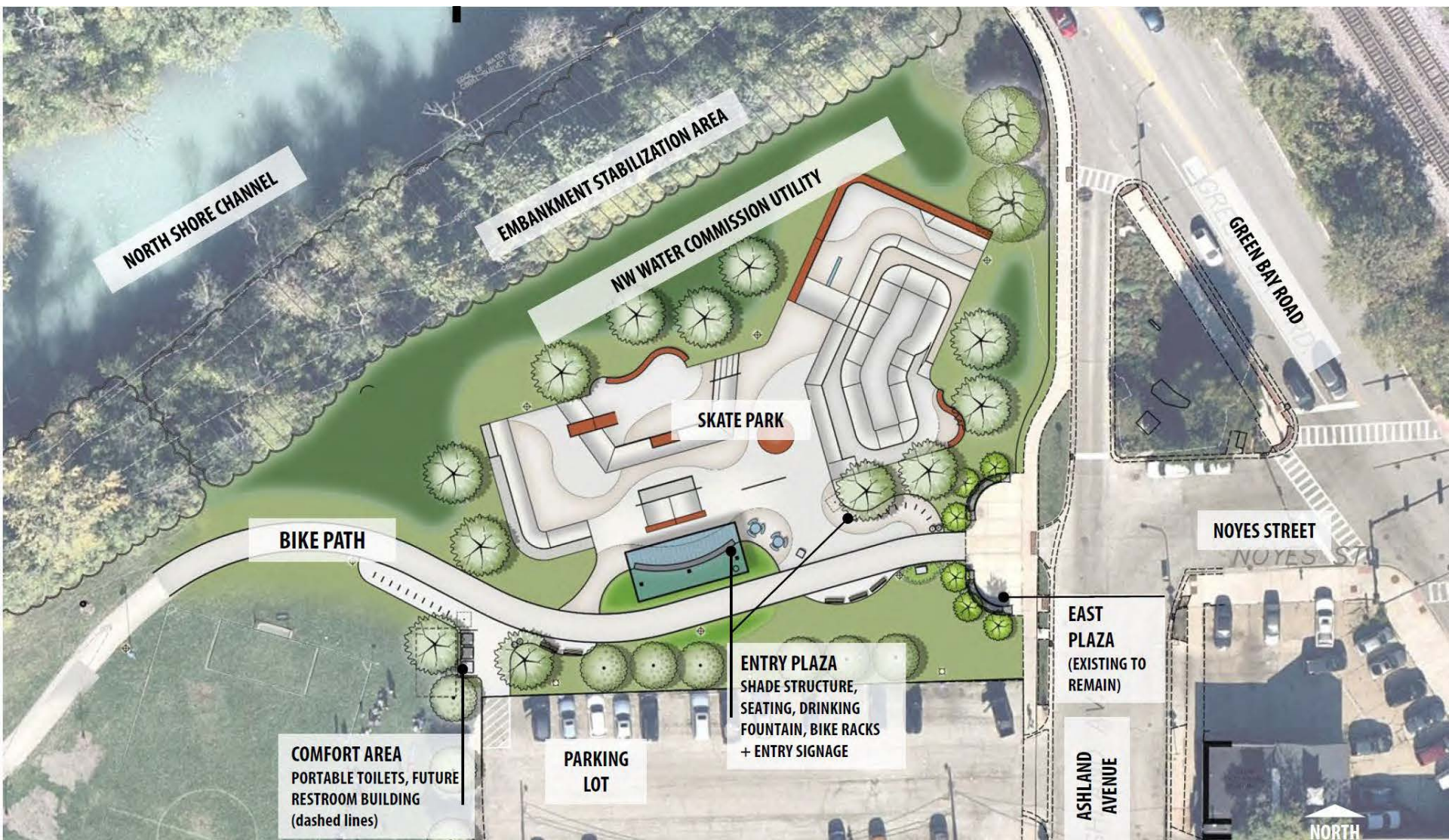
Christopher Burke Engineers

Contractor:

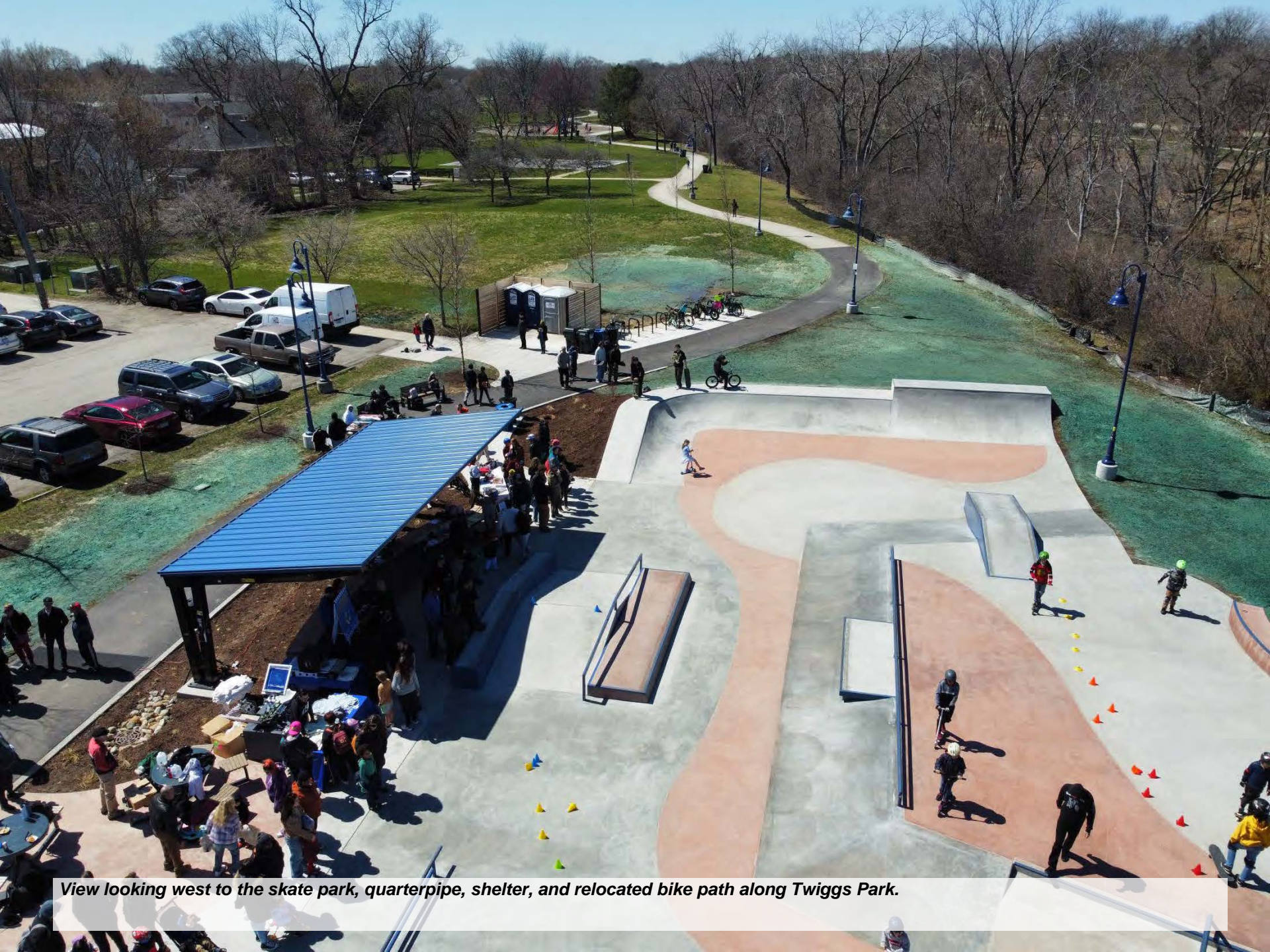
**Hacienda Landscaping / Spohn
Ranch Skate Park Designers +
Builders**

Completion Date:

2024



Evanston Skate Park Site Plan



View looking west to the skate park, quarterpipe, shelter, and relocated bike path along Twiggs Park.



View looking northeast to the skate park, bowl, radius wedge, LA high wall, quarter pipe areas, North Shore Drainage Channel and Green Bay Road.



View looking north to the skate park, grind ledges and rails, Euro gap, radius wedge, seatwall, and North Shore Drainage Channel.



West entry area, custom cantilevered shelter, entry sign, and etiquette sign. The etiquette sign was developed in consultation with the local skating community.



Skateboarders and scooter riders participate in tic tac races. The skate park provides a place for skaters of all ages and abilities to learn from one another.



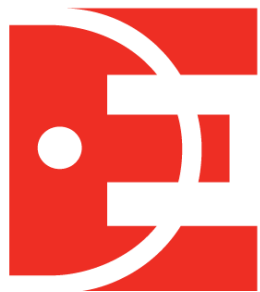
Rain gardens, native plantings and LED lighting surround the skate park areas.



West quarter pipe area. The terra cotta integrated concrete color and blue steel colors were inspired by the Hill Arts District branded colors.



The bowl area, wedge extension, and seating elements attract all ages and wheeled enthusiasts.



DesignEvanston
Awards 2024